



**PLEASANT HILL CITY COUNCIL
REGULAR SESSION
FEBRUARY 09, 2016
6:30 PM**

- 1. CALL TO ORDER/ROLL CALL**
- 2. APPROVAL OF AGENDA**
- 3. PRESENTATIONS:**
 - a. Review of 2015 Park and Recreation Activities – Heath Ellis and Rick Courcier
- 4. PUBLIC HEARINGS:**
 - a. 2016 CONCRETE PATCH PROJECT
 - a. **Resolution #020916-01** – Approval of Plans, Specifications, and Project Award for the 2016 Street Repair Project
- 5. PUBLIC INPUT (5 MINUTES FOR ITEMS NOT ON THE AGENDA)**
- 6. CONSENT ITEMS**
 - a. Council Minutes - dated 01-26-16
 - b. Claims Listing dated 02-09-16
 - c. Tax Abatement Report dated January 2016
 - d. Board of Adjustments Minutes dated 11-05-15
 - e. Joint Planning & Zoning Commission and Park & Recreation Minutes dated 12-07-15
 - f. Planning & Zoning Commission Minutes dated 01-04-16
 - g. Planning & Zoning Commission Special Meeting Minutes dated 01-18-16
 - h. Park and Recreation Commission Minutes dated 01-14-16
 - i. Library Board Minutes dated 12-17-15
 - j. **Resolution #020916-02** – Approval of Lien Schedule
 - k. **Resolution #020916-03** – Approval of Payment Application No. 5 – NE 75th Street Improvements
- 7. BUSINESS ITEMS**
 - a. **Resolution #020916-04** – Set Public Hearing for FY 17 Budget
 - b. Approve Appointment to the Planning and Zoning Commission
 - c. **Resolution #020916-05** – Approve Revised Fire Chief Contract
 - d. **Resolution #020916-06** – Approval of Plans, Specifications, and Letting Schedule for the Youngstown Trail Phase 1 Project
 - e. **Resolution #020916-07** – Support of Grant Application for Agricultural Urbanism Toolkit from ISU Community Design Lab
 - f. **Resolution #020916-08** – Agreement for Professional Engineering Services for the NE 70th Improvements Project
 - g. **Resolution #020916-09** – Site Plan for Villas at Prairie Creek
 - h. **Resolution #020916-10**– Agreement for Professional Engineering Services with Kirkham Michael & Associates, Inc.
 - i. **Resolution #020916-11** – Set Hearing on Intent to Acquire Agricultural Property and Authorize Acquisition of Necessary Property for Pleasant Hill Blvd and Vandalia Rd Intersection Project
- 8. CLOSING COMMENTS**
- 9. CLOSED SESSIONS:**
 - a. Pursuant to Iowa Code Section 21.5.1 (j) to Discuss the Possible Purchase of Particular Real Estate
 - b. Pursuant to Iowa Code Section 20.17 (3) Providing for the Strategy Meetings of Public Employers Collective
- 10. ADJOURNMENT**

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 9, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	J. BENJAMIN CHAMP, AICP, EDFP, ASLA ASSISTANT CITY MANAGER / COMMUNITY DEVELOPMENT DIR.
SUBJECT:	2016 STREET REPAIR PROJECT APPROVAL OF PLANS AND SPECIFICATIONS – PROJECT AWARD

BACKGROUND:

The City Council has identified the need to repair streets in all portions of the community through a concrete patch program. City Staff members have identified and mapped all deficient concrete panels in the community and have prioritized the repair needs and assembled the information into project zones. Over the last few years each zone has been completed and now the ongoing project returns to the original area for patching. Plans and specifications for the next construction packages have now been completed and a bid letting was held on February 3, 2016. Ten bids were received ranging from \$234,890.00 to \$278,000.00. The following resolution provides for the approval of contract award to TK Concrete, Inc. as the low bidder. The Engineer will be available at the Council meeting to discuss the project and answer questions.

ANALYSIS/IMPACT:

The patching program will extend the life of the streets repaired by maintaining the roadway integrity and deferring the need for full reconstruction. The bid documents will require that only one side of a roadway be repaired at a time so that no road closures occur.

ALTERNATIVES:

Not award the contract for construction services. However, this would delay or terminate the project.

FINANCIAL CONSIDERATIONS:

The City Council approved funding for the project in the capital improvement program.

RECOMMENDATION:

Consider approval of the attached resolution approving the plans and specifications and contract award for the 2016 Street Repair Project.

RESOLUTION #020916-01

A RESOLUTION APPROVING PLANS, SPECIFICATIONS, AND CONTRACT AWARD FOR THE 2016 PATCHING PROJECT

WHEREAS, the City held a bid letting at 10:00 a.m. on February 3, 2016 for the 2016 Patching Project and ten bids were received; and,

WHEREAS, TK Concrete, Inc. was the low bidder with a bid of in the amount of \$234,890.00;

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Pleasant Hill, Iowa that the plans and specifications for the 2016 Patching Project are hereby approved.

BE IT FURTHER RESOLVED, that the contract for the 2016 Patching Project is hereby awarded to TK Concrete, Inc.

ADOPTED February 9, 2016.

Sara Kurovski, Mayor

ATTEST:

Dena Spooner, City Clerk/Finance Director



February 4, 2016

Mr. Ben Champ
City of Pleasant Hill
5160 Maple Drive, Suite A
Pleasant Hill, IA 50327

RE: RECOMMENDATION FOR RECEIPT OF BIDS AND CONTRACT APPROVAL
2016 PATCHING PROJECT
PLEASANT HILL, IOWA
S & A Project No. 115.0196.01

Dear Ben,

At 10:00 am on Wednesday, February 3, 2016 bids were received for the 2016 Patching Project. The proposed project consists of construction of full depth PCC pavement patches, replacement of PCC driveways, replacement of sidewalks, fixture adjustments, surface restoration, sodding, and miscellaneous associated work within the approximate area between Maple Drive, N Hickory Boulevard, S Hickory Boulevard, Schaffer Boulevard, and N Pleasant Hill Boulevard.

There were ten bids received and opened. The bids ranged from a low of \$234,890.00 to a high of \$294,975.00. The Engineer's Opinion of Probable Construction Costs for the bid was \$278,000.00. The low bid of \$234,890.00 was submitted by TK Concrete, Inc. Please see the attached bid tabulation for additional information.

It is the recommendation of Snyder & Associates that the City of Pleasant Hill accept the bids. We have worked with TK Concrete in the past and are confident they are capable of performing the work necessary for the completion of this project in a timely manner; it is therefore our recommendation to award the construction contract for the 2016 Patching Project to TK Concrete, Inc in the amount of \$234,890.00.

If you have any questions or comments regarding this information, please contact me at your convenience. Thank you.

Sincerely,

SNYDER & ASSOCIATES, INC.

Eric D. Cannon, P.E.

Enclosures

Cc: Tony Vermeer, TK Concrete
File

Bid Tab
City of Pleasant Hill
2016 Patching Project
February 3, 2016
Project No.: 115.0196

ITEM	DESCRIPTION	UNIT	QUANTITY	ENGINEER'S ESTIMATE		1		2		3		4		5	
				UNIT PRICE	TOTAL PRICE	TK CONCRETE, INC. PELLA, IA		NEHRING CONSTRUCTION, INC. DES MOINES, IA		IOWA EROSION CONTROL INC. VICTOR, IA		HILL CONTRACTING LEON, IA		JAS CONSTRUCTION ALTOONA, IA	
						UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE
1	Mobilization	LS	1	\$ 15,105.00	\$ 15,105.00	\$ 17,500.00	\$ 17,500.00	\$ 15,000.00	\$ 15,000.00	\$ 10,000.00	\$ 10,000.00	\$ 12,000.00	\$ 12,000.00	\$ 5,000.00	\$ 5,000.00
2	Class A Roadstone	TON	455	\$ 25.00	\$ 11,375.00	\$ 20.00	\$ 9,100.00	\$ 20.00	\$ 9,100.00	\$ 29.36	\$ 13,358.80	\$ 15.00	\$ 6,825.00	\$ 32.00	\$ 14,560.00
3	Core Out Excavation	CY	240	\$ 15.00	\$ 3,600.00	\$ 10.00	\$ 2,400.00	\$ 12.00	\$ 2,880.00	\$ 5.00	\$ 1,200.00	\$ 10.00	\$ 2,400.00	\$ 25.00	\$ 6,000.00
4	Geogrid	SY	715	\$ 3.00	\$ 2,145.00	\$ 2.00	\$ 1,430.00	\$ 2.00	\$ 1,430.00	\$ 2.50	\$ 1,787.50	\$ 5.00	\$ 3,575.00	\$ 2.00	\$ 1,430.00
5	Manhole Adjustment	EA	1	\$ 2,000.00	\$ 2,000.00	\$ 1,250.00	\$ 1,250.00	\$ 1,250.00	\$ 1,250.00	\$ 500.00	\$ 500.00	\$ 1,000.00	\$ 1,000.00	\$ 500.00	\$ 500.00
6	Driveway, PCC, 6"	SY	210	\$ 50.00	\$ 10,500.00	\$ 42.00	\$ 8,820.00	\$ 50.00	\$ 10,500.00	\$ 61.31	\$ 12,875.10	\$ 60.00	\$ 12,600.00	\$ 48.00	\$ 10,080.00
7	Sidewalk, PCC, 4"	SY	60	\$ 45.00	\$ 2,700.00	\$ 40.00	\$ 2,400.00	\$ 42.00	\$ 2,520.00	\$ 50.00	\$ 3,000.00	\$ 50.00	\$ 3,000.00	\$ 45.00	\$ 2,700.00
8	Sidewalk, PCC, 6"	SY	70	\$ 50.00	\$ 3,500.00	\$ 45.00	\$ 3,150.00	\$ 50.00	\$ 3,500.00	\$ 100.00	\$ 7,000.00	\$ 60.00	\$ 4,200.00	\$ 48.00	\$ 3,360.00
9	Detectable Warnings	SF	132	\$ 35.00	\$ 4,620.00	\$ 32.50	\$ 4,290.00	\$ 35.00	\$ 4,620.00	\$ 30.00	\$ 3,960.00	\$ 40.00	\$ 5,280.00	\$ 25.00	\$ 3,300.00
10	7" PCC Full Depth Patches	SY	2600	\$ 72.00	\$ 187,200.00	\$ 58.00	\$ 150,800.00	\$ 63.00	\$ 163,800.00	\$ 60.94	\$ 158,444.00	\$ 70.00	\$ 182,000.00	\$ 71.50	\$ 185,900.00
11	8" PCC Full Depth Patches	SY	300	\$ 80.00	\$ 24,000.00	\$ 63.00	\$ 18,900.00	\$ 67.00	\$ 20,100.00	\$ 65.33	\$ 19,599.00	\$ 80.00	\$ 24,000.00	\$ 78.00	\$ 23,400.00
12	Traffic Control	LS	1	\$ 5,000.00	\$ 5,000.00	\$ 7,500.00	\$ 7,500.00	\$ 6,500.00	\$ 6,500.00	\$ 7,500.00	\$ 7,500.00	\$ 5,000.00	\$ 5,000.00	\$ 11,000.00	\$ 11,000.00
13	Pavement Marking, Waterborne or Solvent Based	STA	19	\$ 85.00	\$ 1,615.00	\$ 50.00	\$ 950.00	\$ 43.00	\$ 817.00	\$ 132.00	\$ 2,508.00	\$ 50.00	\$ 950.00	\$ 90.00	\$ 1,710.00
14	Painted Symbols and Legends, Waterborne or Solvent Based	EA	4	\$ 160.00	\$ 640.00	\$ 100.00	\$ 400.00	\$ 88.00	\$ 352.00	\$ 137.50	\$ 550.00	\$ 100.00	\$ 400.00	\$ 125.00	\$ 500.00
15	Sod	SQ	40	\$ 100.00	\$ 4,000.00	\$ 150.00	\$ 6,000.00	\$ 120.00	\$ 4,800.00	\$ 200.00	\$ 8,000.00	\$ 40.00	\$ 1,600.00	\$ 72.00	\$ 2,880.00
TOTAL BID:				\$ 278,000.00		\$ 234,890.00		\$ 247,169.00		\$ 250,282.40	(1)	\$ 264,830.00		\$ 272,320.00	

Notes

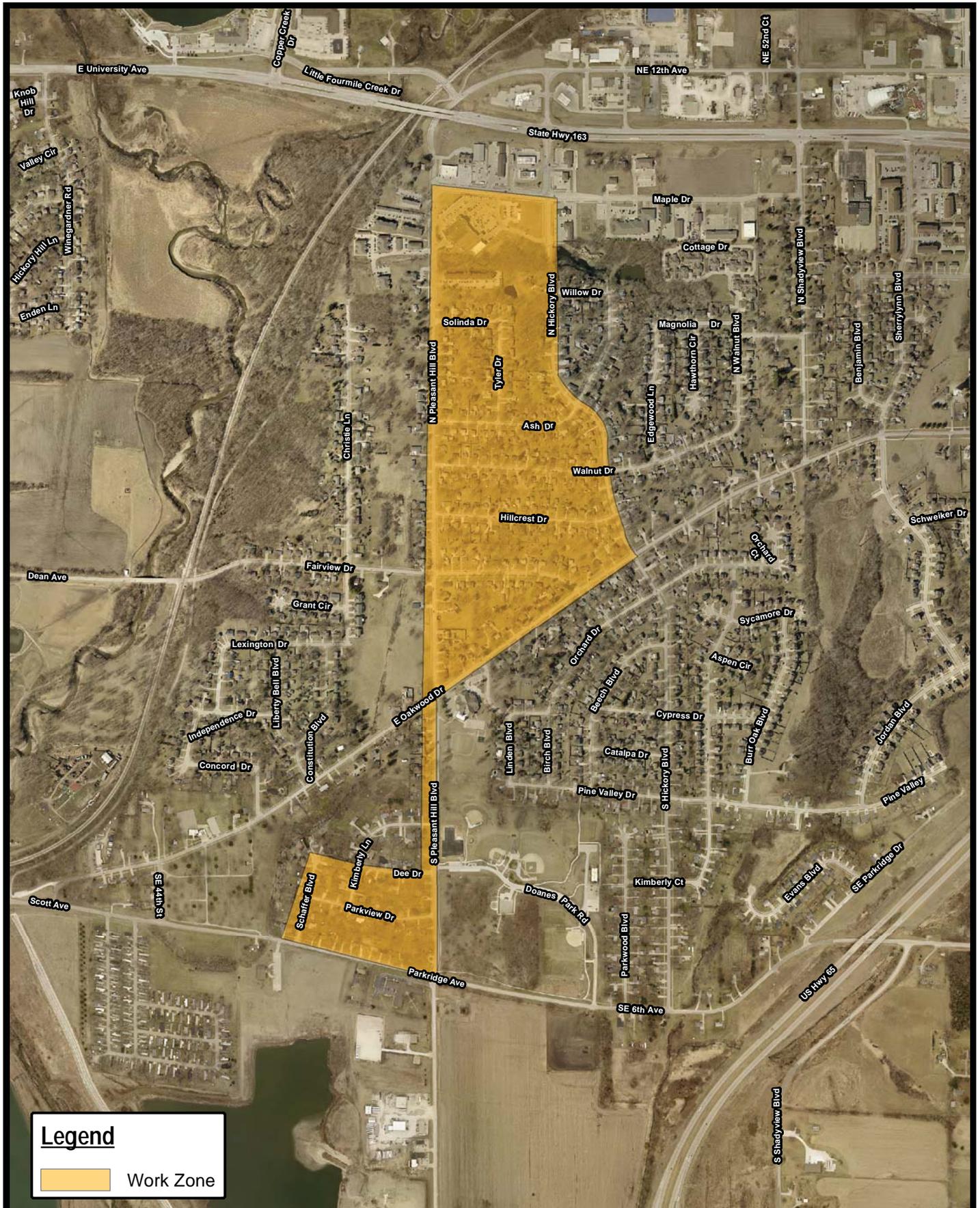
- (1) Irregularity with proposal form. Bid read under advisement of City Attorney.
- (2) Irregularity with proposal and bid bond form. Bid read under advisement of City Attorney.

Bid Tab
City of Pleasant Hill
2016 Patching Project
February 3, 2016
Project No.: 115.0196

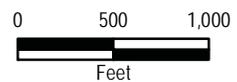
ITEM	DESCRIPTION	UNIT	QUANTITY	ENGINEER'S ESTIMATE		6		7		8		9		10	
				UNIT PRICE	TOTAL PRICE	SPRING LAKE CONSTRUCTION POLK CITY, IA		JDA CONSTRUCTION CO. MARSHALLTOWN, IA		HAWKEYE PAVING CORP. BETTENDORF, IA		HENRIKSEN CONTRACTING, LLC GRIMES, IA		MCGREGER CORPORATION WAUKEE, IA	
						UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE
1	Mobilization	LS	1	\$ 15,105.00	\$ 15,105.00	\$ 7,000.00	\$ 7,000.00	\$ 5,000.00	\$ 5,000.00	\$ 10,000.00	\$ 10,000.00	\$ 16,500.00	\$ 16,500.00	\$ 21,000.00	\$ 21,000.00
2	Class A Roadstone	TON	455	\$ 25.00	\$ 11,375.00	\$ 37.00	\$ 16,835.00	\$ 23.00	\$ 10,465.00	\$ 10.00	\$ 4,550.00	\$ 25.00	\$ 11,375.00	\$ 25.00	\$ 11,375.00
3	Core Out Excavation	CY	240	\$ 15.00	\$ 3,600.00	\$ 44.00	\$ 10,560.00	\$ 25.00	\$ 6,000.00	\$ 10.00	\$ 2,400.00	\$ 15.00	\$ 3,600.00	\$ 15.00	\$ 3,600.00
4	Geogrid	SY	715	\$ 3.00	\$ 2,145.00	\$ 7.00	\$ 5,005.00	\$ 5.00	\$ 3,575.00	\$ 2.00	\$ 1,430.00	\$ 2.50	\$ 1,787.50	\$ 6.00	\$ 4,290.00
5	Manhole Adjustment	EA	1	\$ 2,000.00	\$ 2,000.00	\$ 1,500.00	\$ 1,500.00	\$ 1,750.00	\$ 1,750.00	\$ 2,700.00	\$ 2,700.00	\$ 1,750.00	\$ 1,750.00	\$ 1,200.00	\$ 1,200.00
6	Driveway, PCC, 6"	SY	210	\$ 50.00	\$ 10,500.00	\$ 64.00	\$ 13,440.00	\$ 65.00	\$ 13,650.00	\$ 65.00	\$ 13,650.00	\$ 45.00	\$ 9,450.00	\$ 70.00	\$ 14,700.00
7	Sidewalk, PCC, 4"	SY	60	\$ 45.00	\$ 2,700.00	\$ 52.00	\$ 3,120.00	\$ 55.00	\$ 3,300.00	\$ 60.00	\$ 3,600.00	\$ 45.00	\$ 2,700.00	\$ 65.00	\$ 3,900.00
8	Sidewalk, PCC, 6"	SY	70	\$ 50.00	\$ 3,500.00	\$ 60.00	\$ 4,200.00	\$ 65.00	\$ 4,550.00	\$ 75.00	\$ 5,250.00	\$ 52.00	\$ 3,640.00	\$ 65.00	\$ 4,550.00
9	Detectable Warnings	SF	132	\$ 35.00	\$ 4,620.00	\$ 12.00	\$ 1,584.00	\$ 45.00	\$ 5,940.00	\$ 35.00	\$ 4,620.00	\$ 60.50	\$ 7,986.00	\$ 50.00	\$ 6,600.00
10	7" PCC Full Depth Patches	SY	2600	\$ 72.00	\$ 187,200.00	\$ 64.00	\$ 166,400.00	\$ 70.00	\$ 182,000.00	\$ 78.00	\$ 202,800.00	\$ 73.28	\$ 190,528.00	\$ 68.00	\$ 176,800.00
11	8" PCC Full Depth Patches	SY	300	\$ 80.00	\$ 24,000.00	\$ 70.00	\$ 21,000.00	\$ 75.00	\$ 22,500.00	\$ 87.00	\$ 26,100.00	\$ 80.60	\$ 24,180.00	\$ 72.00	\$ 21,600.00
12	Traffic Control	LS	1	\$ 5,000.00	\$ 5,000.00	\$ 10,000.00	\$ 10,000.00	\$ 5,700.00	\$ 5,700.00	\$ 10,000.00	\$ 10,000.00	\$ 12,000.00	\$ 12,000.00	\$ 22,000.00	\$ 22,000.00
13	Pavement Marking, Waterborne or Solvent Based	STA	19	\$ 85.00	\$ 1,615.00	\$ 200.00	\$ 3,800.00	\$ 350.00	\$ 6,650.00	\$ 40.00	\$ 760.00	\$ 175.00	\$ 3,325.00	\$ 40.00	\$ 760.00
14	Painted Symbols and Legends, Waterborne or Solvent Based	EA	4	\$ 160.00	\$ 640.00	\$ 500.00	\$ 2,000.00	\$ 350.00	\$ 1,400.00	\$ 80.00	\$ 320.00	\$ 159.00	\$ 636.00	\$ 100.00	\$ 400.00
15	Sod	SQ	40	\$ 100.00	\$ 4,000.00	\$ 250.00	\$ 10,000.00	\$ 100.00	\$ 4,000.00	\$ 50.00	\$ 2,000.00	\$ 20.00	\$ 800.00	\$ 55.00	\$ 2,200.00
TOTAL BID:					\$ 278,000.00		\$ 276,444.00		\$ 276,480.00		\$ 290,180.00		\$ 290,257.50	(2)	\$ 294,975.00

Notes

- (1) Irregularity with proposal form. Bid read under advisement of City Attorney.
- (2) Irregularity with proposal and bid bond form. Bid read under advisement of City Attorney.



2016 Patching Project
Figure 1



**PLEASANT HILL CITY COUNCIL
REGULAR SESSION
JANUARY 26, 2016
6:30 PM**

1. CALL TO ORDER/ROLL CALL

Mayor Kurovski called the Pleasant Hill City Council meeting to order on January 26, 2016 at 6:30 p.m. in the City Council Chambers. PRESENT: Jeff Mullen, Curt Gause, Dean Cooper, Barb Malone, Mark Konrad and Mayor Sara Kurovski. ABSENT: none.

2. APPROVAL OF AGENDA

Konrad/Malone moved to approve the agenda as presented, with the exception that closed session 8.b. would be presented before closed session 8.a. ROLL CALL: AYES: Mullen, Gause, Cooper, Malone, Konrad. NAYS: None. Motion carried 5-0.

3. PRESENTATIONS:

- a. Annual Business Retention Update from 2015 – Alex Lynch, EPRD and Janet Wilwerding, City of Pleasant Hill.

Development and Communications Specialist Janet Wilwerding and Eastern Polk Regional Development Executive Director Alex Lynch briefly updated the Council on business retention and expansion in the Pleasant Hill area. They emphasized that a large percentage of growth comes from existing business, therefore it is important to reach out via meetings and close contact with the Chamber of Commerce.

4. PUBLIC INPUT (5 MINUTES FOR ITEMS NOT ON THE AGENDA)

There was none.

5. CONSENT ITEMS

Mullen/Cooper moved to approve the **CONSENT ITEMS:** Council Minutes - dated 01-12-16, Claims Listing dated 01-26-16, Treasurers Report dated 12-31-15, Expenditure Report dated 12-31-15, Revenue Report dated 12-31-15, Fire Dept Report dated December 2015, Police Dept Report dated December 2015, Public Works Dept Report dated 01-26-16, Liquor License Renewal – The PARC Event Center, 5374 NE 12th Ave., Tax Abatement Report dated December 2015, **Resolution #012616-01** - Transfer of funds - Storm Water Fund to Sewer Fund, **Resolution #012616-02** – Transfer of Funds – Emergency Fund to Equipment Replacement Fund, **Resolution #012616-03** – Transfer of Funds – Employee Benefits Fund to General Fund, **Resolution #012616-04** – Approval of Change Order No. 1 and Payment Application No. 4 – NE 75th Street Improvements Project. ROLL CALL: AYES: Mullen, Gause, Cooper, Malone, Konrad. NAYS: None. Motion carried 5-0.

6. BUSINESS ITEMS

- a. **Resolution #012616-05** – Approval of Preliminary Plat with Development Agreement for Prairie Creek Plat 1.

Cooper/Malone moved to approve **Resolution #012616-05** – Approval of Preliminary Plat with Development Agreement for Prairie Creek Plat 1. Assistant City Manager Ben Champ explained that the City has been working with the purchaser of development property in the City of Pleasant Hill in an area southeast of Highway 65 and Oakwood Boulevard over the last several

months. This property was previously owned by the Iowa Department of Transportation and was recently auctioned off by the Department as excess right-of-way. The property has been assigned zoning to coincide with the Future Land Use Plan and the City is now in receipt of a Preliminary Plat for the property. City Engineer Eric Cannon answered questions from the Council. ROLL CALL: AYES: Mullen, Gause, Cooper, Malone, Konrad. NAYS: None. Motion carried 5-0.

- b. **Resolution #012616-06** – Approval of a Request to the DMAMPO to transfer STP funds for Pleasant Hill Boulevard and Vandalia Road Intersection Project .

Mullen/Malone moved to approve **Resolution #012616-06** – Approval of a Request to the DMAMPO to transfer STP funds for Pleasant Hill Boulevard and Vandalia Road Intersection Project . Senior Planner Madeline Sturms explained that the City of Pleasant Hill has been working with the City of Des Moines to plan and construct the SE Connector as a transportation corridor connecting the Highway 5/65 Bypass to downtown Des Moines for several years. This resolution provides for the City of Pleasant Hill and the City of Des Moines to work jointly on the Pleasant Hill Boulevard and Vandalia Road intersection project. The resolution directs a request to the Des Moines Area MPO to transfer \$3,378,400 of STP funds from the SE Connector to the Pleasant Hill Boulevard and Vandalia Road intersection project. Local matching funds will be required to acquire some portions of property not eligible to be funded under the STP funds. STP funds will cover approximately 80% of the estimated project cost. A representative from Kirkham Michael answered questions from the Council. ROLL CALL: AYES: Mullen, Gause, Cooper, Malone, Konrad. NAYS: None. Motion carried 5-0.

7. CLOSING COMMENTS

Mayor Kurovski talked about attending the Convention and Visitors Bureau as well as the MPO quarterly board meetings the previous weekend.

City Manager Don Sandor reminded the Council about the Budget Work Session to be held Wednesday, January 27th at 6:00pm and said another could be scheduled on February 2nd if needed.

Police Chief Al Pizzano gave an update on the hiring process for their department. They had received 40 applications, who have now had their physical exams and testing. They are moving forward in the process and should have the results back for a decision in a couple of months.

Library Director John Lerdal talked about their story featured on news channels 5, 8, and 13: 1000 Books before Kindergarten. He thanked the Children's Librarian Krista Smith for organizing the event and Communication Specialist Janet Wilwerding for helping network the story. Mr. Lerdal also discussed the upcoming Lion's Club Soup Supper where donations will benefit Pleasant Hill residents.

Assistant City Manager Ben Champ followed up on Mayor Kurovski's previous comments about the permit growth in Pleasant Hill, stating that single-family valuation was \$10.9 million, the highest since 2007; multifamily valuation was \$7.7 million, the highest since 2005; and commercial and industrial valuation was \$10 million, the highest since 2012.

8. CLOSED SESSIONS:

- a. Pursuant to Iowa Code Section 20.17 (3) Providing for the Strategy Meetings of Public Employers Collective.

Konrad/Malone moved to move into Closed session : Pursuant to Iowa Code Section 20.17 (3) Providing for the Strategy Meetings of Public Employers Collective. ROLL CALL: AYES: Mullen, Gause, Cooper, Malone, Konrad. NAYS: None. Motion carried 5-0.

Council returned to open session. Mayor Kurovski announced no action was taken in closed session.

- b. Pursuant to Iowa Code Section 21.5.1 (j) to Discuss the Possible Purchase of Particular Real Estate

- 1. Discussion and Possible Action Regarding Purchase of Particular Real Estate

Malone/Konrad moved to move into Closed session : Pursuant to Iowa Code Section 21.5.1 (j) to Discuss the Possible Purchase of Particular Real Estate. ROLL CALL: AYES: Mullen, Gause, Cooper, Malone, Konrad. NAYS: None. Motion carried 5-0.

Council returned to open session. Mayor Kurovski announced no action was taken in closed session.

9. ADJOURNMENT

Malone/Mullen moved to adjourn the meeting. ROLL CALL: AYES: Mullen, Gause, Cooper, Malone, Konrad. NAYS: None. Motion carried 5-0. The meeting was adjourned at 7:45 p.m.

Sara Kurovski, Mayor

ATTEST:

Dena J. Spooner, City Clerk/Finance Director

=====PAYMENT DATES=====

PAID ITEMS DATES 1/27/2016 THRU 2/09/2016
 PARTIALLY ITEMS DATES 1/27/2016 THRU 2/09/2016
 UNPAID ITEMS DATES

VENDOR NAME	DESCRIPTION	GROSS AMOUNT
A+ COMMUNICATIONS & SECURITY	SECURITY MONITORING FEE	59.85
AARRON DAVIS	REIMBURSE EMS BOOKS	83.48
AFLAC INSURANCE	INSURANCE	1,092.10
AJ'S SERVICE	MOTOR VEHICLE REPAIRS	323.77
ALTOONA FIRE DEPARTMENT	PARAMEDIC ASSIST	250.00
AMAZON.COM	BOOKS	100.89
BAKER & TAYLOR	BOOKS	570.30
BEN FREEBORN	CONTRACT CUSTODIAL	880.00
BETTER CONTAINERS	LIBRARY BAGS	260.50
BOUNDTREE MEDICAL	EMS SUPPLIES	1,422.50
BRICK, GENTRY, BOWERS LAW	LEGAL COUNSEL	1,220.00
BROWN WINICK ATTORNEYS AT LAW	LEGAL COUNSEL-DEC. 2015	1,344.00
CALHOUN-BURNS & ASSOC INC	2015 BRIDGE RATING & INSPECT	1,443.75
CENTURY LINK	DSL DATA LINE - CITY HALL	66.99
CINTAS FIRST AID & SAFETY	FIRST AID SUPPLIES	344.70
CIVICPLUS	ANNUAL FEE FEB 2016-JAN 2017	4,606.25
COLLECTION SERVICES	GARNISHMENT WITHHOLDING	1,156.66
COMPLETE PLUMBING SERVICES	RELOCATE WALL FAUCET	177.90
CONCENTRA MEDICAL	PRE-EMPLOYMENT PHYSICAL	177.50
CONTECH ENGINEERED SOLUTIO	30'X40' STEEL CULVERT	2,899.94
CRYSTAL CLEAR WATER CO.	OPERATING SUPPLIES	14.00
D.R.I.V.E.	PAYROLL DEDUCTION	10.00
DEERY BROTHERS	REPAIRS - 4310	1,046.64
DEMCO	BOOK PROCESSING SUPPLIES	496.34
ED M FELD EQUIPMENT CORP	AIR COMPRESSOR SERVICE	1,069.50
FAMILY SUPPORT PAYMENT CENTER	GARNISHMENT	28.96
G & K SERVICES	UNIFORMS	118.15
G&L CLOTHING	UNIFORMS/SAFETY EQUIP	390.38
HALLETT MATERIALS	ICE CONTROL SAND	2,589.30
HOTSY CLEANING SYSTEMS, INC	FLEET WASH SOAP-WASHER	208.00
IA STORMWATER EDUCATION PARTNERSHIP	MEMBERSHIP DUES/EDUC MATERIALS	3,257.91
ICMA-RC	DEFERRED COMPENSATION	2,257.32
INTERNAL REVENUE SERVICE	FED WITHHOLDING	31,639.06
INTERNATIONAL CODE COUNCIL	2014 NEC	117.50
IOWA DEPT OF REVENUE & FINANCE	STATE WITHHOLDING	5,316.00
IOWA ONE CALL CORP	BURIED UTILITY LOCATES	1.20
IPERS-REGULAR	IPERS CONTRIBUTIONS	18,370.58
KOCH BROTHERS	OFFICE SUPPLIES	378.13
MEDIACOM	INTERNET ACCESS - CITY HALL	199.95
MENARDS-ALTOONA	MISC PW SUPPLIES	415.70
METRO WASTE AUTHORITY	SOLID WASTE COLLECTION-JAN '16	31,885.39
MIDAMERICAN ENERGY CO	ELECTRIC	10.20
MOTHER EARTH NEWS	MAGAZINE	17.00
MUNICIPAL SUPPLY	UNDERGROUND UTILITY LOCATE	60.80

A C C O U N T S P A Y A B L E
 O P E N I T E M R E P O R T
 P U B L I C A T I O N

=====PAYMENT DATES=====

PAID ITEMS DATES 1/27/2016 THRU 2/09/2016
 PARTIALLY ITEMS DATES 1/27/2016 THRU 2/09/2016
 UNPAID ITEMS DATES

VENDOR NAME	DESCRIPTION	GROSS AMOUNT
NADA APPRAISAL GUIDES	PERIODICAL	75.00
NATIONAL ASSOC OF SCHOOL RES OFFICERS	EDUCATION/TRAINING	495.00
NEW YORK LIFE INSURANCE	LIFE INSURANCE PAYROLL DEDUCTION	17.28
OCLC, INC.	DATABASE ACCESS	35.25
ORIENTAL TRADING CO, INC	PROGRAM SUPPLIES	956.55
PITNEY BOWES	MISC. CONTRACT	68.88
PITNEY BOWES PURCHASE POWER	POSTAGE/SHIPPING	500.00
POLK COUNTY RECORDER	RECORD CEMETERY DEEDS	14.00
QUILL	OFFICE SUPPLIES - GENERAL USE	635.27
RACOM CORPORATION	RADIO EQUIPMENT	2,205.50
RECORDED BOOKS	BOOKS ON CD	173.20
RELIANCE STANDARD	DENTAL/ VISION PREMIUM PAYROLL DEDUCT	3,094.72
RELIASTAR LIFE INSURANCE CO	DEFERRED COMP - ING	2,928.24
S & S WORLDWIDE, INC.	PROGRAM SUPPLIES	81.60
SNYDER & ASSOCIATES	NE 60TH IMPROVEMENTS PROJECT	6,870.00
STANARD & ASSOC., INC	EDUCATION/TRAINING	695.00
STEVE JOHNS	MILEAGE REIMBURSEMENT/TRAINING	25.18
STROH CORPORATION	REPAIR FURNACE-AUTO SHOP	443.90
STRYKER SALES CORP	EMS COT REPAIRS	247.43
TASC	FLEXIBLE DEP BENE PLAN	6,673.27
THE EQUITABLE	DEFERRED COMP - THE EQUITABLE	673.06
THE HARTFORD	DEFERRED COMP - THE HARTFORD	591.05
THE NATION	MAGAZINE	89.00
THE WALDINGER CORP	INSTALL LIGHT POLE-UNIVERSITY	11,019.43
TREASURER-STATE OF IA	JAN 2016 SALES TAX (DMWW)	1,487.00
UNITED WAY OF CENTRAL IA	UNITED WAY CONTRIBUTION	38.00
UNUM LIFE INSURANCE COMPANY	VOLUNTARY LIFE INSURANCE	143.52
US CELLULAR	CELL PHONE SERVICE	1,159.62
VAN-WALL EQUIPMENT, INC.	JOHN DEERE MOWER DECK PARTS	685.66
VISA CARD SERVICES	CONFERENCES; MOWER PART; DUES	2,592.56
WELLMARK BLUE CROSS BLUE SHIELD	HEALTH INS PREM PAYROLL DEDUCT	19,914.07
ZOLL MEDICAL CORP	HEART MONITOR MAINTENANCE	255.00

** TOTAL ** -City of Pleasant Hill 183,262.33

02-03-2016 11:45 AM

VENDOR SET: 01 CITY OF PLEASANT HILL
REPORTING: PAID, UNPAID, PARTIAL

A C C O U N T S P A Y A B L E
O P E N I T E M R E P O R T
P U B L I C A T I O N

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=====PAYMENT DATES=====

PAID ITEMS DATES 1/27/2016 THRU 2/09/2016
PARTIALLY ITEMS DATES 1/27/2016 THRU 2/09/2016
UNPAID ITEMS DATES

FUND TOTALS

001	GENERAL	104,021.08
110	ROAD USE	19,140.35
301	CAPITAL PROJECTS	920.00
304	TIF CAPITAL PROJECTS	5,950.00
610	SEWER	14,614.51
670	SOLID WASTE	32,006.04
740	STORM WATER	6,610.35

GRAND TOTAL 183,262.33



Tax Abatement Report JANUARY 2016

TYPE	ADDRESS	OWNER	VALUATION	DATE ISSUED	PERMIT #	PERMIT FEE
SINGLE FAMILY	390 NE 77th Ct	Jerry's Homes Inc	280,794.00	01-13-16	9418	1.408.75

Board of Adjustment
November 05, 2015

Pleasant Hill Board of Adjustment meeting was called to order at 5:30 pm on Thursday November 05, 2015 by Chairperson LeAnne Krell.

Roll Call

CALL TO ORDER/ROLL CALL: Ted Dyer, LeAnne Krell, Stan Pollpeter, Carla Rivas, Marc Swanson.

Also present: Ben Champ, Assistant City Manager, Michael Pardekooper, Building Official, Madeline Sturms, Senior Planner, Mark Konrad, Councilman and BOA Liaison, Len Murray, Councilman.

Agenda

DYER/RIVAS moved approval of the agenda. Ayes: Unanimous. Motion Carried.

Minutes

POLLPETER/SWANSON moved approval of the August 06, 2015 minutes. Ayes: Unanimous. Motion Carried.

Variance Request

A request for a variance has been filed by Lance Street to allow for an accessory structure to be erected in a side yard.

The property identified in the petition is legally identified as:

LOT 18 WA SCHWEIKER'S FIRST ADD TO PLEASANT HILL PLAT 3

And locally known as:

365 Alexander Circle

Zoned:

R-2 One and Two Family Dwelling District

City Report

Ben Champ, Assistant City Manager introduced the variance request stating the applicant would like to build an 24 x 30 accessory structure to the west of their house at 365 Alexander Circle, within an area defined as a side yard. City ordinance 166.03 Accessory Buildings states: accessory buildings may only be erected in a rear yard and shall be located outside of any easement.

Appellant

Lance Street, 365 Alexander Circle stated he would like to build a detached garage for off-street parking and to store his boat and trailer. His property is located on a cul-de-sac where street parking is not allowed and there is a large gas pipeline easement in the rear yard making it prohibitive to build in the backyard.

For the Record

Notice of Public Hearing was published in The Des Moines Register on October 24, 2015.

No written comments were received.

Public Input

Alain Andrews, 355 Alexander Circle, stated a 24 x 30 accessory building is too large to fit in with the character of the neighborhood, but he would not be opposed to a single car garage.

Annette Hacker, 345 Alexander Circle, stated she is not opposed to the size as requested but would like to know that it would look like a garage and not like a pole barn.

William, opposite neighbor, stated he is opposed to a large detached garage, but would be alright with an attached garage.

Motion

DYER/POLLPETER moved to deny the Variance Request received from Lance Street for a 24 x 30 accessory structure to be erected in the side yard at 365 Alexander Circle. Ayes: Unanimous. Motion Carried.

Adjournment

SWANSON/RIVAS moved to adjourn. Ayes: Unanimous. Motion Carried. Meeting was adjourned at 5:44 pm.

Ruth E Mattix
Recording Secretary

Pleasant Hill Plan & Zoning
Park & Recreation
December 07, 2015

Pleasant Hill Plan & Zoning regular meeting and Pleasant Hill Park & Recreation joint special meeting was called to order at 5:32 pm on December 07, 2015 by Chairperson Mark Ackelson.

Roll Call - Plan & Zoning

71-2015 CALL TO ORDER/ROLL CALL: Mark Ackelson, Beth Cooper, Curt Gause, Jan Higgins, Keith Williamson. Absent: Tim Mallicoat, Martha Miller.

Roll Call - Park & Recreation

ROLL CALL: David Dunfee, Anne Johns, Dan Schmitz, Olivia Smith, Penny Thomsen. Absent: Gary Denning Jr, Loren Lown.

Agenda

72-2015 WILLIAMSON/GAUSE moved approval of the agenda. Ayes: Unanimous. Motion Carried.

Minutes

73-2015 WILLIAMSON/COOPER moved approval of the Plan & Zoning November 02, 2015 regular meeting minutes. Ayes: Unanimous. Absent: Mallicoat, Miller. Motion Carried.

DUNFFE/THOMSEN moved approval of the Park & Recreation November 12, 2015 regular meeting minutes. Ayes: Unanimous. Absent: Denning, Lown. Motion Carried.

2016 Planning and Zoning Commission Schedule

74-2015 WILLIAMSON/HIGGINS moved approval of the 2016 Planning and Zoning Commission Schedule with the change of the February meeting to the second Monday due to the first Monday conflicting with the Iowa Caucus. Ayes: Unanimous. Absent: Mallicoat, Miller. Motion Carried.

Time to Address the Commission

No comments were received.

New Business

Complete Streets Presentation.

Mike Armstrong, Metropolitan Planning Organization [MPO] gave a power point presentation on Complete Streets outlining the need to plan for designed streets to enable safe access for all users; walking, bicycling, and driving. Armstrong provided a Complete Streets model policy that was developed by the Des Moines Area MPO.

Park & Recreation Motion

THOMSEN/JOHNS moved to recommend for staff to continue discussion to proceed with adopting a Complete Street policy. Ayes: Unanimous. Absent: Denning, Lown. Motion Carried.

Plan & Zoning Motion

75-2015 WILLIAMSON/HIGGINS moved to refer the MPO model policy to staff for recommendations and bring back to the Commission for review. Ayes: Unanimous. Absent: Mallicoat, Miller. Motion Carried.

Director's Report

None

Adjournment

76-2015 WILLIAMSON/HIGGINS moved to adjourn. Meeting was adjourned at 6:34 pm.

Ruth E Mattix
Recording Secretary

Pleasant Hill Plan & Zoning
January 04, 2016

Pleasant Hill Plan & Zoning regular meeting was called to order at 5:32 pm on January 04, 2016 at the City Council Chambers by Chairperson Mark Ackelson.

Roll Call

01-2016 CALL TO ORDER/ROLL CALL: Mark Ackelson, Jan Higgins, Tim Mallicoat, Martha Miller, Keith Williamson. Absent: Beth Cooper.

Agenda

02-2016 WILLIAMSON/MALLICOAT moved approval of the agenda. Ayes: Unanimous. Absent: Cooper. Motion Carried.

Minutes

03-2016 WILLIAMSON/HIGGINS moved approval of the Plan & Zoning November 23, 2015 special meeting minutes. Ayes: Unanimous. Pass: Ackelson. Absent: Cooper. Motion Carried.

04-2016 WILLIAMSON/HIGGINS moved approval of the Plan & Zoning and Park & Recreation December 07, 2015 joint meeting minutes. Ayes: Williamson, Ackelson, Higgins. Pass: Mallicoat, Miller. Absent: Cooper. Motion Carried.

Time to Address the Commission

No comments were received.

2016 Chair and Vice-Chair Selection

05-2016 MILLER/MALLICOAT moved to retain the current officers for 2016, Mark Ackelson as Chairperson and Keith Williamson as Vice-Chairperson. Ayes: Unanimous. Absent: Cooper. Motion Carried.

Old Business

Complete Streets Policy

Complete Streets Policy. Madeline Sturms, Senior Planner, gave an update report on the Complete Streets Policy. Sturms stated staff has been working with the MPO on a plan for designed streets to enable safe access for all

users. The policy gives guidance and direction to residents, developers, designers, and managers of public streets right-of-way for accommodating an interconnected, multi-model transportation network for all users and uses of the public travel systems.

06-2016 HIGGINS/MILLER moved to recommend approval of the **Complete Streets Policy** as presented. Ayes: Unanimous. Absent: Cooper. Motion Carried.

New Business

Prairie Creek Plat 1 Preliminary Plat.

Prairie Creek Plat 1 Preliminary Plat located southeast of Highway 65 and E Oakwood Drive is approximately 25 acres. The property went through the zoning process in 2015, the eastern 13.51 acres is zoned R-2 One and Two Family Dwelling and the western 12.09 acres is zoned R-3A Apartment, Condominium District. The Owner/Developer is Dan Novelli, Bloomfield LLC, 7008 Madison Avenue, Urbandale IA, and the engineer is Dan DeCamp, PE, Abaci Consulting, Inc., 101 NE Circle Drive, Grimes IA.

Dan Novelli, Bloomfield LLC, 7008 Madison Ave, Urbandale IA reported they held a neighborhood meeting that was well attended and have continued working with staff and have brought back some minor changes since their last submittal to the Commission. Novelli also provided sample exterior building materials that are proposed for both the duplex and single family dwellings.

Dan DeCamp, Abaci Consulting Inc, 101 NE Circle Drive, Grimes IA responded to questions and concerns regarding the wetlands, road alignment, density, setbacks and off-street parking.

Public Input

No comments were received.

07/08-2016 MALLICOAT/MILLER made a motion for the developer to bring **Prairie Creek Plat 1 Preliminary Plat and Villas At Prairie Creek Site Plan** back to the Commission after the wetlands and water issues and additional City Engineer's comments are addressed. Ayes: Unanimous. Absent: Cooper. Motion Carried.

Kara Acres Preliminary/Final Plat.

Kara Acres is located at 1550 SE 60th Street in unincorporated Polk County. The property is approximately 14 acres and is zoned R-1 90 Residential Single Family. The owner is proposing the property be subdivided into five buildable lots and an outlot. Kara Thompson, 4315 Ingersoll Avenue, Des Moines IA is the owner, Wally Pelds, A Leo Pelds Engineering, 2323 Dixon Street, Des Moines IA is the engineer.

09-2016 **Kara Acres Preliminary/Final Plat** presented as discussion item. No action taken.

Adjournment

10-2016 WILLIAMSON/MALLICOAT moved to adjourn. Meeting was adjourned at 6:20 pm.

Ruth E Mattix
Recording Secretary

Pleasant Hill Plan & Zoning
January 18, 2016

Pleasant Hill Plan & Zoning special meeting was called to order at 5:30 pm on January 18, 2016 at the City Council Chambers by Chairperson Mark Ackelson.

Roll Call

11-2016 CALL TO ORDER/ROLL CALL: Mark Ackelson, Beth Cooper, Martha Miller, Keith Williamson. Absent: Jan Higgins, Tim Mallicoat.

Agenda

12-2016 WILLIAMSON/MILLER moved approval of the agenda. Ayes: Unanimous. Absent: Higgins, Mallicoat. Motion Carried.

Time to Address the Commission

No comments were received.

Old Business

Prairie Creek Plat 1 Preliminary Plat.

Prairie Creek Plat 1 Preliminary Plat located southeast of Highway 65 and E Oakwood Drive is approximately 25 acres. The property went through the zoning process in 2015, the eastern 13.51 acres is zoned R-2 One and Two Family Dwelling and the western 12.09 acres is zoned R-3A Apartment, Condominium District. The Owner/Developer is Dan Novelli, Bloomfield LLC, 7008 Madison Avenue, Urbandale IA, and the engineer is Dan DeCamp, PE, Abaci Consulting, Inc., 101 NE Circle Drive, Grimes IA.

Dan Novelli, Bloomfield LLC 7008 Madison Avenue, Urbandale IA thanked the Commission and staff for having a special meeting and stated they have been working on and will continue to work on addressing the comments that have been received. Novelli handed out revised Prairie Creek Plat 1 Preliminary Plat, and Villas at Prairie Creek Site Plan, Grading Plan and Landscaping Plan.

Public Input

No comments were received.

13-2016 WILLIAMSON/MILLER moved to recommend conditional approval of **Prairie Creek Plat 1 Preliminary Plat** subject to staff and City Engineer's comments. Ayes: Unanimous. Absent: Higgins, Mallicoat. Motion Carried.

14-2016 **Villas at Prairie Creek Site Plan.** No action taken.

Director's Report

The next regular scheduled meeting is February 8, 2016.

Adjournment

15-2016 WILLIAMSON/COOPER moved to adjourn. Meeting was adjourned at 6:12 pm.

Ruth E Mattix
Recording Secretary

PLEASANT HILL PARK & RECREATION COMMISSION
January 14, 2016

1. CALL TO ORDER/ROLL CALL

Chair Loren Lown called the regular meeting of the Pleasant Hill Park and Recreation Commission to order at 6:00 p.m. Present: David Dunfee, Anne Johns, Loren Lown, Dan Schmitz, and Olivia Smith. Absent: Gary Denning and Penny Thomsen.

2. APPROVAL OF AGENDA

SCHMITZ/DUNFEE moved to approve the agenda. Ayes: Dunfee, Johns, Lown, Schmitz, Smith. Nays: None. Motion carried.

3. APPROVAL OF MINUTES OF DECEMBER 7, 2015 REGULAR MEETING

SMITH/JOHNS moved to approve the minutes. Ayes: Dunfee, Johns, Lown, Schmitz, Smith. Nays: None. Motion carried.

4. TIME TO ADDRESS THE COMMISSION (5 MINUTE LIMIT) – None

5. NEW BUSINESS – None

6. REPORTS

a. Complete Streets Policy – Madeline Sturms, Senior Planner, addressed the commission regarding the presentation of the policy and examples of where it would be appropriate/necessary, how it relates to the Park & Recreation Commission to work to increase the trail opportunities, etc. The policy would be an opportunity for City Council to work on capital improvement projects for improving roads that at that time consideration would given to improvements for trails and/or bike lanes and making intersections pedestrian friendly. Policy does not require specific actions. Specific designs will not be included in the policy, those will be included as the engineers work on projects. Discussion following MPO recommendations and safety issues of bike trails incorporated into the streets. JOHNS/SMITH moved to recommend the policy to the City Council. Ayes: Dunfee, Johns, Lown, Schmitz, Smith. Nays: None. Motion carried.

b. Park Master Plan – Madeline Sturms, Senior Planner, discussed the development of a master plan for park development. The City Council approved a contract for scope of services at the January 12, 2016 meeting with Confluence, a landscape architecture and planning firm. Confluence has expertise in all components of park planning and development from conceptual designs to construction documents. The firm and the assigned project team are also well known for their public meeting and input facilitation. The firm will lead a process over the next several months with several opportunities for public input and coordination with local park and recreation leaders with goal completion of Summer 2016. The scope of services has been reviewed by the Park and Recreation Commission Chair and the Planning and Zoning Commission Chair. The Park & Recreation Commission will play a large role in developing this area. There are many questions to be addressed with Confluence regarding the development of the park area. Various suggestions for possible uses in the park area were discussed. Participation of commissioners will be necessary.

c. 2015 Annual Report – A copy of the annual report was distributed. Thank you to the Commissioners for leading the charge in helping encourage what has been accomplished in

the last five years. Recreation Manager, Rick Courcier, discussed what has been done in the past year to encourage an increase in recreation programs and the participation in those programs. The dog obedience and tumbling tots have been self-sustaining. Stand up paddle boarding at the lake was introduced and will continue in the coming year. Special events sponsored by the Park and Recreation along with Fire Dept. and Library have been well attended. Staff assists with various events, i.e.: Chill on the Hill, Triathlon, etc. Shelter and Youth Center rentals continue at a high rate. The City ball facilities are intended to support introductory/recreational play as a priority over competitive league play. Ellis explained the city's facility use and maintenance services provided to the various recreational clubs/leagues. Parks Maintenance Programs overview was distributed. Thirteen areas of responsibility of staff were discussed, funded by general fund. Items funded by CIP were discussed, i.e.: work at Doanes Park, new playground equipment at Copper Creek Lake, new fall protection for playgrounds, etc. Sustainable urban forestry grant was received early last year and has provided much assistance with sustainable urban forestry plans within the city. The City has been a Tree City USA participant for 12 years. 2016 parks focus areas – complete urban forestry plan, more improvements at Copper Creek Lake and Doanes Park; working with Phase 1 of installation of Youngstown trail; master plan for the new park; and tobacco free parks. It is important to continue looking at the big picture for park development and updates to park areas. Recreational programs will continue to be offered and plans for increasing participation in programs as new programs are introduced. Plan to work with community members and school to increase programs.

7. FUTURE AGENDA ITEMS/COMMISSIONERS' COMMENTS

Chair Lown reported that the Four-Mile Creek corridor is progressing with purchase of property from Des Moines to Ankeny. There is a push to have the green belt area utilized as a park upon completion along Four-Mile Creek. The creek banks will need to be stabilized before park areas can be established based on flooding issues along Four-Mile Creek.

The US Fish & Wildlife is working toward establishing an Urban Wildlife Refuge from Saylorville Lake to Red Rock Lake. Focus will be on migratory water fowl, migratory birds, green corridor and watershed management.

8. ADJOURNMENT – DUNFEE/SMITH moved to adjourn. Ayes: Dunfee, Johns, Lown, Schmitz, Smith. Nays: None. Motion carried. Meeting adjourned at 7:05 p.m.

- NEXT SCHEDULED MEETING – February 22, 2016

Pleasant Hill Library Board of Trustees
December 17, 2015 5:00 p.m.

ROLL CALL: Chair Dan Herrin called the meeting to order at 5:00 p.m. Trustees Present: Janette Diamond, Michael Diver, Jill Duden, Dan Herrin, and Anne Timmerman. Also present: City Council Liaison Jeff Mullen, City Manager Don Sandor and Library Director John Lerdal.

85-2015: APPROVAL OF AGENDA: Timmerman/Diver moved to approve the agenda. All ayes.

86-2015: APPROVE MINUTES: Timmerman/Duden moved to approve the minutes of the November 19, 2015 regular meeting as presented. All ayes.

87-2015: PUBLIC INPUT: None

88-2015: APPROVE CONSENT AGENDA: Timmerman/Diamond moved to approve the bills from November 19, 2015 to December 17, 2015 in the amount of \$4,909.48 and meeting dates of February 25, 2016 and January 28, 2016. The Colibri bill is for book processing supplies which were on sale so more were ordered. All ayes.

NEW BUSINESS:

89-2015: Make and Take an Ornament – This was a good event with about 220 participants. Lots of work goes into this event. Good comments were received and Krista Smith did a great job in getting new things and new ideas.

90-2015: Library Technician I Position – There have been several interviews conducted with another next week. Director Lerdal will contact Trustees with a recommendation when interviews are completed. It is anticipated there will be a recommendation the week of December 28 with a start date the first week of January.

91-2015: Polk County Funding – The current funding is part of a two year contract that ends on June 30, 2015. An initial meeting has been held with the Polk County and was very productive; the Polk County Library Association is requesting an increase to \$500,000. The formula for amount to be distributed to individual libraries is based on circulation and total operating expenses and the percentage of rural circulation vs. overall circulation. Another meeting will be scheduled after the first of the year with the county. It is being suggested that there be a three year contract with increasing funding up to the \$500,000. Director Lerdal will be Vice-President of the Polk County Library Association for the coming year but will remain as part of the negotiations with the county. The Open Access funds that are received from the state for services to people in other communities are less than the level of funds received from Polk County. We expect to maintain current funding levels at the very least.

92-2015: Website Redesign – The committee has looked at different websites and has met with CivicPlus regarding possible changes. We expect to have a response in January of how ideas can be implemented. Director Lerdal would like to see an icon/button on the city home page that can

be used to access the Library website. If trustees have any suggestions for changes please let Director Lerdal know.

93-2015: Space Needs – At the goal setting session of the City Council, council has set a priority of space, particularly at the south complex. This process is in the beginning stages and will be dependent on what is easier for refurbishing for which department currently located in that complex. The Library, Fire Department and Police Department are all short on space. They have all been in this location for ten years. The Library usage has increased thirty percent during that period of time. This is a subject that has been discussed several times in the past years. The next fiscal year budget will include funding for consulting work, will likely be two to three years for final planning stages. Director Lerdal will keep the Board informed of status.

OLD BUSINESS:

A. Proposed Library Budget for FY 16/17 – There are no changes at this time. New carpet for the Library has been included in the CIP budget. The City Manager will be meeting with Directors starting in January to discuss the proposed budgets.

B. Capital Crossroads Update – There have been two topics suggested for training for all staff in the area: Difficult Patrons and Dealing with Different Devices. Relays is the company that would meet several of ideas identified for the online catalog. It is projected that the cost would be \$1,340.00 for implementation and \$1,428.00 for maintenance costs for a total of \$2,768.00 for the first year. It has been discussed if the rates should be prorated based on usage and population. There are several things to be considered before this could be implemented, including if a card from each participating library would be required in order to check out an item found on the catalog. Policies on check out times, etc. vary from library to library. The overall cost is something that would have to be looked at before deciding to participate. Trustee Diver questions if larger libraries would feel that they will be bringing a lot to the program and would not be willing to pay more since they provide more service. Trustee Duden asked if this is a cost savings and good system why are there only a few areas in the country using this type of program. The advantage is “one stop shopping” as opposed to looking at each individual library in the area. The committee will continue to work on this and hope to have more information in the next couple of months. One of the past Capital Crossroads initiatives involved the Fire Departments and resulted in the codes being more uniform and revised every three years. They continue to work towards all metro areas having the same codes.

LIBRARY DIRECTOR’S REPORT:

The Edge (Communicator) is no longer going to be published after March. The city currently has pages in the Pleasant Hill Living magazine. The Library has one page monthly but looking at expanding to two pages monthly and possibly four pages on a quarterly basis. This will require more planning. Director Lerdal will also look at doing a column monthly in the Altoona Herald.

A copy of the article about employees receiving recognition for time working for the city included a question and answer section from Gale Rivas, Sue McMillen, Jeff VanDrew and Steve Johns.

The revised Policy and Procedures Manual was distributed.

AGENDA ITEMS:

- A. Budget/CIP
- B. Library Technician I Position
- C. Polk County Funding
- D. Website

TRUSTEE COMMENTS:

- A. Janette Diamond – Wish everyone a nice holiday season and good Rose Bowl.
- B. Michael Diver – Nothing
- C. Jill Duden – Acknowledge the personal service by staff to patrons, makes our Library well known and respected.
- D. Dan Herrin – Happy Holidays
- E. Anne Timmerman – Merry Christmas and Happy New Year

ADJOURNMENT:

Duden/Diamond moved to adjourn. All ayes. Meeting adjourned at 5:55 p.m.

Cindy Konrad
Recording Secretary

RESOLUTION #020916-02

RESOLUTION APPROVING THE LIEN SCHEDULES FOR SEWER, GARBAGE, AND STORM WATER

WHEREAS, Des Moines Water Works has submitted lien schedules for the city's sewer, garbage, and storm water services; and,

WHEREAS, the schedules represent charges on final accounts that have not been successfully collected via other means, such as water termination; and,

WHEREAS, the January schedule, that represents the amount of \$39.36 uncollected for storm water is ready to be presented to the County Treasurer.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Pleasant Hill, Iowa that staff is authorized to present the lien schedule to the County Treasurer.

ADOPTED February 9, 2016.

Sara Kurovski, Mayor

ATTEST:

Dena Spooner, City Clerk/Finance Director

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 9, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	J. BENJAMIN CHAMP, AICP, EDFP, ASLA ASSISTANT CITY MANAGER / COMMUNITY DEVELOPMENT DIR.
SUBJECT:	NE 75th STREET IMPROVEMENTS PROJECT PAYMENT APPLICATION NO. 5

BACKGROUND:

The City Engineer has developed the plans and specifications for the NE 75th Street Improvements Project. The project has been awarded to McAninch Corporation and work is underway. The contractor has submitted the attached Payment Application No. 5 correcting Payment Application No. 4 for work completed through December 31, 2015. The attached communication from the City Engineer, Snyder and Associates, provides a recommendation for approval of the payment application.

ANALYSIS/IMPACT:

The City Engineer has reviewed, prepared, and recommended approval of the pay application.

ALTERNATIVES:

Not approve the pay application. However, the work is part of an approved contract and the work has been performed.

FINANCIAL CONSIDERATIONS:

Project funds are available.

RECOMMENDATION:

Approve the attached resolution for the NE 75th Street Improvements Project.

RESOLUTION #020916-03

A RESOLUTION APPROVING PAYMENT APPLICATION NO. 5 FOR THE NE 75th STREET IMPROVEMENTS PROJECT

WHEREAS, the Pleasant Hill City Council has hired McAninch Corporation to complete the NE 75th Street Improvements Project; and

WHEREAS, McAninch Corporation has submitted the attached Payment Application No. 5 in the amount of \$5,012.44.

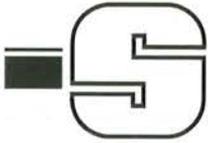
THEREFORE, BE IT RESOLVED, that the City Council of Pleasant Hill, Iowa, in Polk County, Iowa, does hereby approve payment application number five for the project.

ADOPTED this 9th day of February, 2016.

Sara Kurovski, Mayor

ATTEST:

Dena Spooner, City Clerk/Finance Director



February 3, 2016

Mr. Ben Champ
City of Pleasant Hill
5160 Maple Drive
Pleasant Hill, IA 50327

RE: PARTIAL PAYMENT APPLICATION NO. 5
NE 75TH STREET IMPROVEMENTS
PROJECT NO. 113.0493

Dear Mr. Champ:

The payment application approved in January (application no. 4) contained an error that inadvertently doubled the deduct amount associated with change order no. 1. Partial payment application no. 5 corrects this error to close out work completed in 2015.

We recommend payment of \$5,012.44 to the Contractor, McAninch Corporation, for work completed through December 31, 2015. Construction activities will resume later this spring as weather allows.

Please contact me should you have any questions on this pay application. We will be in attendance at the February 9, 2016 council meeting to answer any questions regarding this partial payment.

Sincerely,

SNYDER & ASSOCIATES, INC.

Nathan E. Carhoff, P.E.
Project Engineer

Enclosures

CC: Eric Cannon, P.E., Snyder & Associates, Inc.

APPLICATION FOR PARTIAL PAYMENT NO. 5

PROJECT: NE 75th Street Improvements
OWNER: City of Pleasant Hill
CONTRACTOR: McAninch Corporation
ADDRESS: 4001 Delaware Avenue, Des Moines, IA 50313
DATE: February 1, 2016

S&A PROJECT NO.: 113.0493

PAYMENT PERIOD: November 1, 2015 to
December 31, 2015

1. CONTRACT SUMMARY:

Original Contract Amount:	\$1,687,175.73	CONTRACT PERIOD:
Net Change by Change Order:	<u>-\$1,426.25</u>	Original Contract Date: June 9, 2015
Contract Amount to Date:	\$1,685,749.48	Contract Completion Date: May 31, 2016

2. WORK SUMMARY:

Total Work Performed to Date:	\$572,725.60
Retainage: 5%	<u>\$28,636.28</u>
Total Earned Less Retainage:	\$544,089.32
Less Previous Applications for Payment:	<u>\$539,076.88</u>
AMOUNT DUE THIS APPLICATION:	<u>\$5,012.44</u>

3. CONTRACTOR'S CERTIFICATION:

The undersigned CONTRACTOR certifies that:

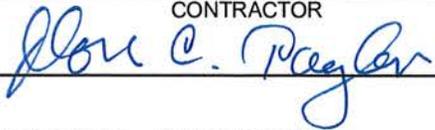
(1) all previous progress payments received from OWNER on account of Work done under the Contract referred to above have been applied to discharge in full all obligations of CONTRACTOR incurred in connection with the Work covered by prior Applications for Partial Payments.

(2) title to all materials and equipment incorporated in said Work or otherwise listed in or covered by this application for Payment are free and clear of all liens, claims, security interests and encumbrances.

McAninch Corporation

CONTRACTOR

By



DATE: 2-1-16

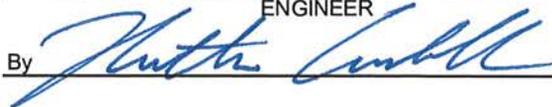
4. ENGINEER'S APPROVAL:

Payment of the above AMOUNT DUE THIS APPLICATION is recommended:

Snyder & Associates, Inc.

ENGINEER

By



DATE: 2/13/16

5. OWNER'S APPROVAL

City of Pleasant Hill

OWNER

By

DATE: _____

6. DETAILED ESTIMATE OF WORK COMPLETED:																	
No.	DESCRIPTION	CONTRACT ITEMS						COMPLETED WORK									
		UNIT	UNIT COST	Division 1 RISE Eligible		Division 2 Non-RISE Eligible		Division 1 RISE Eligible			Division 2 Non-RISE Eligible						
				QUANTITY	TOTAL COST	QUANTITY	TOTAL COST	QUANTITY	CO #	COST	QUANTITY	CO #	COST				
1	CLEARING AND GRUBBING (TREES)	UNIT	\$ 89.25	104.4	\$ 9,317.70	-	\$ 0.00	104.4	-	\$ 9,317.70	-	\$ 0.00					
2	CLEARING AND GRUBBING (ROW CROPS)	UNIT	\$ 3.29	100.6	\$ 330.97	324.1	\$ 1,066.29	100.6	-	\$ 330.97	324.1	\$ 1,066.29					
3	CLEARING AND GRUBBING	ACRE	\$ 10,500.00	0.3	\$ 3,150.00	0.1	\$ 1,050.00	0.3	-	\$ 3,150.00	0.1	\$ 1,050.00					
4	TOPSOIL, ON-SITE	CY	\$ 4.89	3,163	\$ 15,467.07	5,667	\$ 27,711.63	1,582	-	\$ 7,735.98	2,834	\$ 13,858.26					
5	EXCAVATION, CLASS 10	CY	\$ 5.04	16,576	\$ 83,543.04	4,144	\$ 20,885.76	14,832	-	\$ 74,753.28	3,918	\$ 19,746.72					
6	BELOW GRADE EXCAVATION (CORE OUT)	CY	\$ 12.00	500	\$ 6,000.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
7	SUBGRADE TREATMENT (CLASS C FLY ASH)	SY	\$ 13.00	500	\$ 6,500.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
8	SUBGRADE TREATMENT (GEOGRID, TYPE 1)	SY	\$ 5.00	500	\$ 2,500.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
9	SUBGRADE PREPARATION	SY	\$ 4.57	8,741	\$ 39,946.37	2,516	\$ 11,498.12	-	-	\$ -	-	\$ 0.00					
10	SUBBASE, 8" MODIFIED	CY	\$ 54.50	1,942	\$ 105,839.00	385	\$ 20,982.50	-	-	\$ -	-	\$ 0.00					
11	SUBBASE, SPECIAL BACKFILL	CY	\$ 62.00	123	\$ 7,626.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
12	REMOVAL OF KNOWN PIPE CULVERT, CMP, 15"	LF	\$ 19.00	-	\$ -	57	\$ 1,083.00	-	-	\$ -	-	\$ 0.00					
13	REMOVAL OF KNOWN PIPE CULVERT, CMP, 18"	LF	\$ 21.00	43	\$ 903.00	-	\$ 0.00	43	-	\$ 903.00	-	\$ 0.00					
14	REMOVAL OF KNOWN PIPE AND CONDUIT, DIP, 10"	LF	\$ 36.00	-	\$ -	303	\$ 10,908.00	-	-	\$ -	303	\$ 10,908.00					
15	REMOVAL OF KNOWN PIPE AND CONDUIT, DIP, 12"	LF	\$ 44.00	-	\$ -	30	\$ 1,320.00	-	-	\$ -	30	\$ 1,320.00					
16	COMPACTION TESTING	LS	\$ 4,200.00	0.9	\$ 3,780.00	0.1	\$ 420.00	0.72	-	\$ 3,024.00	0.08	\$ 336.00					
17	GRANULAR SHOULDERS	TON	\$ 43.50	159.3	\$ 6,929.55	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
18	EARTH SHOULDER CONSTRUCTION	STA	\$ 432.00	7.3	\$ 3,153.60	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
19	TRENCH COMPACTION TESTING	LS	\$ 3,675.00	1	\$ 3,675.00	-	\$ 0.00	1.00	-	\$ 3,675.00	-	\$ 0.00					
20	STORM SEWER, TRENCHED, RCP, 15"	LF	\$ 77.00	308	\$ 23,716.00	-	\$ 0.00	308	-	\$ 23,716.00	-	\$ 0.00					
21	STORM SEWER, TRENCHED, RCP, 18", REMOVE AND	LF	\$ 99.00	148	\$ 14,652.00	-	\$ 0.00	148	-	\$ 14,652.00	-	\$ 0.00					
22	STORM SEWER, TRENCHED, RCP, 24"	LF	\$ 103.00	394	\$ 40,582.00	-	\$ 0.00	394	-	\$ 40,582.00	-	\$ 0.00					
23	STORM SEWER, TRENCHED, RCP, 36"	LF	\$ 160.00	784	\$ 125,440.00	-	\$ 0.00	784	-	\$ 125,440.00	-	\$ 0.00					
24	PIPE APRON, RCP, 15"	EACH	\$ 1,332.00	1	\$ 1,332.00	-	\$ 0.00	1	-	\$ 1,332.00	-	\$ 0.00					
25	PIPE APRON, RCP, 18", REMOVE AND RESET	EACH	\$ 2,038.00	1	\$ 2,038.00	-	\$ 0.00	1	-	\$ 2,038.00	-	\$ 0.00					
26	PIPE APRON, RCP, 24"	EACH	\$ 1,744.00	1	\$ 1,744.00	-	\$ 0.00	1	-	\$ 1,744.00	-	\$ 0.00					
27	PIPE APRON, RCP, 36"	EACH	\$ 2,516.00	1	\$ 2,516.00	-	\$ 0.00	1	-	\$ 2,516.00	-	\$ 0.00					
28	FOOTING FOR CONCRETE PIPE APRON, RCP, 15"	EACH	\$ 131.00	1	\$ 131.00	-	\$ 0.00	1	-	\$ 131.00	-	\$ 0.00					
29	FOOTING FOR CONCRETE PIPE APRON, RCP, 18"	EACH	\$ 157.00	1	\$ 157.00	-	\$ 0.00	1	-	\$ 157.00	-	\$ 0.00					
30	FOOTING FOR CONCRETE PIPE APRON, RCP, 24"	EACH	\$ 190.00	1	\$ 190.00	-	\$ 0.00	1	-	\$ 190.00	-	\$ 0.00					
31	FOOTING FOR CONCRETE PIPE APRON, RCP, 36"	EACH	\$ 262.00	1	\$ 262.00	-	\$ 0.00	1	-	\$ 262.00	-	\$ 0.00					
32	SUBDRAIN, PERFORATED TYPE 1, 4"	LF	\$ 12.00	2,861	\$ 34,332.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
33	SUBDRAIN OUTLETS AND CONNECTIONS, TYPE DR-3	EACH	\$ 395.00	16	\$ 6,320.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
34	SUBDRAIN OUTLETS AND CONNECTIONS, TYPE DR-3	EACH	\$ 500.00	4	\$ 2,000.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
35	WATER MAIN, TRENCHED, C900 PVC, 12"	LF	\$ 37.00	-	\$ -	1,448	\$ 53,576.00	-	-	\$ -	1,448	\$ 53,576.00					
36	FITTING, MJ REDUCER, 12"x10"	EACH	\$ 425.00	-	\$ -	4	\$ 1,700.00	-	-	\$ -	4	\$ 1,700.00					
37	FITTING, MJ SLEEVE, 12"	EACH	\$ 1,168.00	-	\$ -	1	\$ 1,168.00	-	-	\$ -	1	\$ 1,168.00					
38	FITTING, 22.5 DEGREE BEND, 12"	EACH	\$ 435.00	-	\$ -	2	\$ 870.00	-	-	\$ -	2	\$ 870.00					
39	FITTING, 45 DEGREE BEND, 12"	EACH	\$ 685.00	-	\$ -	10	\$ 6,850.00	-	-	\$ -	10	\$ 6,850.00					
40	FITTING, TEE, 12"x12"	EACH	\$ 1,760.00	-	\$ -	5	\$ 8,800.00	-	-	\$ -	5	\$ 8,800.00					
41	VALVE, GATE, 12"	EACH	\$ 2,177.00	-	\$ -	4	\$ 8,708.00	-	-	\$ -	4	\$ 8,708.00					
42	FIRE HYDRANT ASSEMBLY	EACH	\$ 4,315.00	-	\$ -	6	\$ 25,890.00	-	-	\$ -	6	\$ 25,890.00					
43	MANHOLE, SW-401, 48"	EACH	\$ 2,490.00	3	\$ 7,470.00	-	\$ 0.00	2.25	-	\$ 5,602.50	-	\$ 0.00					
44	MANHOLE, SW-401, 60"	EACH	\$ 4,300.00	2	\$ 8,600.00	-	\$ 0.00	1.50	-	\$ 6,450.00	-	\$ 0.00					
45	MANHOLE, SW-401, 72"	EACH	\$ 4,800.00	1	\$ 4,800.00	-	\$ 0.00	0.75	-	\$ 3,600.00	-	\$ 0.00					
46	MANHOLE, SW-401, 84"	EACH	\$ 6,100.00	1	\$ 6,100.00	-	\$ 0.00	0.75	-	\$ 4,575.00	-	\$ 0.00					
47	INTAKE, SW-501	EACH	\$ 2,282.00	4	\$ 9,128.00	-	\$ 0.00	2.00	-	\$ 4,564.00	-	\$ 0.00					
48	INTAKE, SW-505	EACH	\$ 3,371.00	3	\$ 10,113.00	-	\$ 0.00	1.50	-	\$ 5,056.50	-	\$ 0.00					
49	INTAKE, SW-506	EACH	\$ 8,400.00	1	\$ 8,400.00	-	\$ 0.00	0.50	-	\$ 4,200.00	-	\$ 0.00					
50	INTAKE, SW-507	EACH	\$ 3,100.00	1	\$ 3,100.00	-	\$ 0.00	0.50	-	\$ 1,550.00	-	\$ 0.00					
51	PAVEMENT, PCC, 9"	SY	\$ 60.85	7,481	\$ 455,218.85	1,733	\$ 105,453.05	-	-	\$ -	-	\$ 0.00					
52	CONCRETE MEDIAN, 4"	SY	\$ 91.40	244	\$ 22,301.60	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
53	PCC PAVEMENT SAMPLES AND TESTING	LS	\$ 9,975.00	0.9	\$ 8,977.50	0.1	\$ 997.50	-	-	\$ -	-	\$ 0.00					
54	DRIVEWAY, PAVED, HMA, 6"	SY	\$ 44.80	-	\$ -	639	\$ 28,627.20	-	-	\$ -	-	\$ 0.00					
55	PAVEMENT REMOVAL	SY	\$ 16.45	437.9	\$ 7,203.46	371.4	\$ 6,109.53	-	-	\$ -	-	\$ 0.00					
56	TRAFFIC SIGNAL	LS	\$ 95,000.00	1	\$ 95,000.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
57	CONVENTIONAL SEEDING, SEEDING, FERTILIZING AND M	ACRE	\$ 1,575.00	2.4	\$ 3,780.00	0.4	\$ 630.00	-	-	\$ -	-	\$ 0.00					
58	CONVENTIONAL SEEDING, SEEDING, FERTILIZING AND M	ACRE	\$ 787.50	5.8	\$ 4,567.50	0.9	\$ 708.75	5.8	-	\$ 4,567.50	0.9	\$ 708.75					
59	HYDRAULIC SEEDING, SEEDING, FERTILIZING AND M	ACRE	\$ 2,310.00	2.3	\$ 5,313.00	0.5	\$ 1,155.00	-	-	\$ -	-	\$ 0.00					
60	WARRANTY	LS	\$ 3,150.00	0.9	\$ 2,835.00	0.1	\$ 315.00	-	-	\$ -	-	\$ 0.00					
61	PLANTS WITH WARRANTY, DECIDUOUS TREE	EACH	\$ 409.50	-	\$ -	27	\$ 11,056.50	-	-	\$ -	-	\$ 0.00					
62	TREE DRAINAGE WELLS	EACH	\$ 210.00	-	\$ -	27	\$ 5,670.00	-	-	\$ -	-	\$ 0.00					
63	SWPPP MANAGEMENT AND INSPECTIONS	LS	\$ 5,040.00	1	\$ 5,040.00	-	\$ 0.00	0.40	-	\$ 2,016.00	-	\$ 0.00					
64	FILTER SOCKS, 9"	LF	\$ 1.84	1,848	\$ 3,400.32	-	\$ 0.00	100	-	\$ 184.00	-	\$ 0.00					
65	FILTER SOCKS, REMOVAL	LF	\$ 0.26	1,848	\$ 480.48	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
66	TEMPORARY RECP, TYPE 2	SY	\$ 3.68	200	\$ 736.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
67	RIP RAP, CLASS D	TON	\$ 70.00	29	\$ 2,030.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
68	SILT FENCE OR SILT FENCE DITCH CHECK	LF	\$ 1.84	2,240	\$ 4,121.60	-	\$ 0.00	1,880	-	\$ 3,459.20	-	\$ 0.00					
69	SILT FENCE OR SILT FENCE DITCH CHECK, REMOVA	LF	\$ 1.05	2,240	\$ 2,352.00	-	\$ 0.00	400	-	\$ 420.00	-	\$ 0.00					
70	SILT FENCE OR SILT FENCE DITCH CHECK, REMOVA	LF	\$ 0.26	2,240	\$ 582.40	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
71	STABILIZED CONSTRUCTION ENTRANCE	SY	\$ 16.00	345	\$ 5,520.00	-	\$ 0.00	140	-	\$ 2,240.00	-	\$ 0.00					
72	INLET PROTECTION DEVICE, TYPE B	EACH	\$ 183.75	12	\$ 2,205.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
73	INLET PROTECTION DEVICE MAINTENCE	EACH	\$ 52.50	12	\$ 630.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
74	REMOVAL OF FENCE	LF	\$ 7.35	272	\$ 1,999.20	-	\$ 0.00	272	-	\$ 1,999.20	-	\$ 0.00					
75	PERMANENT ROAD CLOSURE, URBAN	EACH	\$ 455.00	3	\$ 1,365.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
76	PAINTED PAVEMENT MARKINGS, WATERBORNE OR	STA	\$ 22.25	44.66	\$ 993.69	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
77	PAVEMENT MARKING SYMBOLS, WATERBORNE OR	EACH	\$ 89.00	8	\$ 712.00	3	\$ 267.00	-	-	\$ -	-	\$ 0.00					
78	SIGNING	LS	\$ 2,100.00	1	\$ 2,100.00	-	\$ 0.00	-	-	\$ -	-	\$ 0.00					
79	TRAFFIC CONTROL	LS	\$ 8,000.00	1	\$ 8,000.00	-	\$ 0.00	0.50	-	\$ 4,000.00	-	\$ 0.00					
80	MOBILIZATION	LS	\$ 62,450.00	0.9	\$ 56,205.00	0.1	\$ 6,245.00	0.68	-	\$ 42,466.00	0.08	\$ 4,996.00					
				SUB TOTAL: 1,315,453.90				\$ 371,721.83		SUB TOTAL: \$ 412,599.83				\$ 161,552.02			
				ORIGINAL CONTRACT: \$ 1,687,175.73				ORIGINAL CONTRACT COMPLETE: \$ 574,151.85									
CHANGE ORDER SUMMARY:																	
58	CONVENTIONAL SEEDING, SEEDING, FERTILIZING AND M	ACRE	\$ 787.50	(5.8)	\$ (4,567.50)	(0.9)	\$ (708.75)	(5.80)	1	\$ (4,567.50)	(0.90)	1	\$ (708.75)				
81	CONVENTIONAL MULCHING	ACRE	\$ 500.00	6.7	\$ 3,350.00	1.0	\$ 500.00	6.70	1	\$ 3,350.00	1.00	1	\$ 500.00				
TOTAL CHANGE ORDERS:							-\$ 1,426.25									-\$ 1,426.25	
TOTAL CONTRACT & CHANGE ORDERS:							\$ 1,685,749.48		TOTAL COMPLETE:							\$ 572,725.60	

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 09, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	DONALD SANDOR, CITY MANAGER
SUBJECT:	RESOLUTION TO SET PUBLIC HEARING FOR FY 17 BUDGET

BACKGROUND:

City budgets must be certified by March 15th each year to the County Auditor after a public hearing and approval by the Council. This resolution sets the public hearing for the proposed FY 17 budget for the March 8, 2016 Council meeting. Notice of the public hearing must be published not more than 20 days nor less than 10 days prior to the hearing, which would be between February 17th and February 27th. The final version of the budget must be available for public inspection at least 10 days prior to the public hearing and at least 20 days before the certification date, so the budget must be available by February 17th in the office of the City Clerk, Mayor and Library.

ANALYSIS/IMPACT:

Due to the ongoing negotiations with the public works union the public hearing will be held at the March 8th meeting, in anticipation of having completed the negotiations and making any last minute modifications to the budget as a result of the negotiations.

ALTERNATIVES:

FINANCIAL CONSIDERATIONS:

RECOMMENDATION:

Approve resolution to set public hearing for proposed FY 17 budget for March 8, 2016.

RESOLUTION # 020916-04

**A RESOLUTION TO SET THE PUBLIC HEARING FOR THE
FY 2016-2017 BUDGET**

LET IT BE RESOLVED that the public hearing for the FY 2016-2017 budget for the City of Pleasant Hill, Iowa is hereby set for March 8, 2016, at 6:30 p.m. in the Pleasant Hill Council Chambers, 5160 Maple Drive, Pleasant Hill, Iowa.

ADOPTED this 9th day of February 2016.

Sara Kurovski, Mayor

ATTEST:

Dena Spooner, Clerk/Finance Director

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 9, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	DONALD SANDOR, CITY MANAGER
SUBJECT:	APPOINTMENT TO PLANNING AND ZONING COMMISSION

BACKGROUND:

With the election of Curt Gause to the City Council, he had to resign his seat on the Planning and Zoning Commission effective December 31, 2015. The term runs through June 30, 2017. The opening was advertised and five candidates applied.

ANALYSIS/IMPACT:

Planning and Zoning Chair Mark Ackelson and Curt Gause interviewed the candidates. They recommend that Rachel Anderson be appointed to fill the remainder of the term, until June 30, 2017. There are three women and three men on the commission so this appointment maintains the gender equity.

ALTERNATIVES:

Not approve the recommendation.

FINANCIAL CONSIDERATIONS:

N/A

RECOMMENDATION:

Approve the appointment of Rachel Anderson to the Planning and Zoning Commission to fill the unexpired term until June 30, 2017.

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 9, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	DONALD SANDOR, CITY MANAGER
SUBJECT:	REVISED EMPLOYMENT AGREEMENT FOR FIRE CHIEF

BACKGROUND:

The original employment agreement with Chief Solberg provided that the Chief obtain an Emergency Medical Technician-Basic (EMT-B) certification within eighteen months of hire. Due to operational changes in the department it is the opinion that this requirement is no longer needed and the attached amendment to the agreement would delete this requirement, replacing it with the requirement for CPR and AED certification. Other changes to the original agreement are proposed to delete sections that are no longer relevant for Chief Solberg.

ANALYSIS/IMPACT:

ALTERNATIVES:

FINANCIAL CONSIDERATIONS:

RECOMMENDATION:

Approve resolution for the approval of the new employment agreement with Chief Solberg.

RESOLUTION # 020916-05

A RESOLUTION APPROVING AN AGREEMENT OF THE EMPLOYMENT CONTRACT WITH THE PLEASANT HILL FIRE CHIEF

WHEREAS, the attached City of Pleasant Hill Employment Contract and Agreement for the Fire Chief includes modifications from the Agreement of Employment Contract approved by Council by means of Resolution #012814-06; and

WHEREAS, the attached Employment Contract and Agreement supersedes the prior employment contract and agreement between the City of Pleasant Hill and the Fire Chief;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF PLEASANT HILL, IOWA, that the attached Agreement of Employment Contract with Thomas Solberg is hereby approved:

ADOPTED this 9th day of February 2016

Sara Kurovski, Mayor

ATTEST:

Dena Spooner City Clerk/Finance Director

**CITY OF PLEASANT HILL
EMPLOYMENT CONTRACT AND AGREEMENT**

THIS EMPLOYMENT CONTRACT AND AGREEMENT made and entered into this date, _____ by and between the City of Pleasant Hill, Polk County, Iowa, by its Council Members (hereinafter referred to as "Employer") and Thomas Solberg, an individual and resident of the State of ~~Montana~~ Iowa (hereinafter referred to as "Employee"), both whom understand as follows:

WHEREAS, the Employer desires and needs the services of an Employee to serve in the capacity of Fire Chief, and

WHEREAS, the Employer desires to retain the services of the Employee as Fire Chief, and

WHEREAS, it is the desire of the Employer: (1) to retain the services of the Employee and to provide inducement for him to remain in such employment; (2) to establish the job duties and responsibilities of said Employee; and (3) to provide means to terminating Employee's services when either the Employee or the Employer may desire to terminate his employment; and

WHEREAS, Employee desires to retain employment as Fire Chief:

NOW, THEREFORE, THE PARTIES AGREE AS FOLLOWS:

- 1) The Employee understands that he serves as Fire Chief of the City of Pleasant Hill, Polk County, Iowa. As such he may be dismissed, without cause, by the City Manager, with the advice and consent of a simple majority of the Council, or for cause, by a simple majority of the Council.
- 2) Nothing shall prevent, limit or otherwise interfere with the right of the Employee to resign at any time from his position with Employer; subject only to the provisions set forth in this Agreement.
- 3) In the event Employee voluntarily resigns his position with Employer during a contract term, the Employee shall give the Employer a one (1) month in advance, unless the parties otherwise agree. The Employee shall not be entitled to severance benefits of any kind, except he shall receive payment for unused vacation and other benefits usually paid other employees at termination provided the required notice is given.
- 4) In the event the Employer wishes to terminate the contract without just cause, it may do so by giving the Employee thirty (30) days notice, in writing. This determination shall be pursuant to the Ordinances of the City of Pleasant Hill, Iowa. In such event, the Employee, if requested by Employer, shall continue to render his services and shall be paid his regular compensation up until the date of termination. Upon issuance of such termination notice, the Employer recognizes the adverse circumstances of which the Employee has been placed, therefore, agrees to pay the Employee at the time of

termination a severance equal to six (6) months' salary, in addition to whatever accrued vacation the Employee may have. No other benefits will be allowed or accrued during the six (6) months of severance.

- 5) That the Employer shall furnish the Employee all equipment, materials and manpower necessary for the efficient performance of the official duties as Fire Chief.
- 6) That the Employee shall perform those duties as outlined in the Ordinance, chapter entitled, "Fire Department" and in the enacted Ordinance, which establishes the Fire Chief position and will be subject to the Ordinances of the City of Pleasant Hill, Iowa, and those duties as outlined in the approved job description.
- 7) That the Employee shall devote his time and talents to the best of his ability to the best interests of the City of Pleasant Hill, Polk County, Iowa.
- 8) Employer agrees to pay Employee for his services rendered, at an annual base salary of ~~eight thousand dollars (\$80,000)~~ **set by resolution of the City Council** payable in equal installments at the same time as other employees of the Employer are paid. The Employer shall not, at any time during the term of this Agreement, reduce the salary or other benefits of the Employee unless such reduction is applied to all City employees. The employee shall receive an annual evaluation by the city manager at the anniversary date of the employee's hiring. The employee's salary may be increased periodically as approved by city council resolution without amendment to this agreement.
- 9) The Employer will provide Employee with the same insurance benefits available to other City employees.
- 10) It is understood that the Employee will normally work at least forty (40) hours per week, exclusive of scheduled Council meetings but it also recognized that the Employee must devote a great deal of time outside the normal office hours to the business of the Employer, and to that end, Employee may vary his schedule accordingly, with City Manager approval.
- 11) The Employee agrees to obtain **CPR and AED Certification, and additional EMT training depending upon staffing levels and requirements.** ~~an EMERGENCY MEDICAL TECHNICAL-BASIC (EMT-B) CERTIFICATION WITHIN EIGHTEEN MONTHS OF HIRE.~~
- 12) Employee shall be entitled to those benefits set out below:
 - (A) **VACATION.** Upon hire the Employee received three (3) weeks (120 hours) of paid vacation to be taken with the approval of the City Manager. The Employee will begin accruing vacation as listed in the City's personnel manual
 - (B) **HOLIDAYS.** Employee is considered to be on-call twenty-four (24) hours a day; however, unless his services are needed, the Employee shall not be required to work on those days which have been designated as holidays in the City's Personnel Policy. In the event the Chief is a required to work a holiday, the Chief shall be

granted compensation time equal to the holiday time worked. Said time to be taken on a date of his choosing.

- (C) **PROFESSIONAL DUES AND SUBSCRIPTIONS.** Employer shall budget and pay for professional dues and subscriptions necessary for Employee's memberships in various associations and organizations which are necessary and desirable for his continued professional participation and growth for the good of the Employer, and to pay for any professional development or training expenses that have been previously approved by the City Council.
- (D) **TRAVEL EXPENSE.** Meals and lodging authorized and approved by the Employer will be paid on actual cost basis. Receipts for all expenses will be attached to the vouchers submitted to the City Clerk.
- (E) **AUTOMOBILE ALLOWANCE.** The Employer agrees to provide an automobile for the use of the Employee.
- (F) **OTHER LEAVES.** The Employer will provide other leaves of absence available to other City employees, per the City's personnel manual.
- (G) **RESIDENCY REQUIREMENT.** The Employee will become a resident of the City of Pleasant Hill, Polk County, within six (6) months of the date of this agreement, unless the parties agree otherwise.
- (H) **RETIREMENT.** The Employee and Employer shall participate and contribute in the usual and customary monetary amounts into the State of Iowa Public Retirement Systems (IPERS).
- (I) ~~**MOVING AND RELOCATION EXPENSES.** The Employer agrees to provide actual relocation and moving expenses of up to eleven thousand dollars (\$11,000.00), incurred to move the Employee to Pleasant Hill, Iowa. Employee shall repay the City ½ the costs the City paid for relocation and moving expenses if the employee leaves the City's employment voluntarily within three (3) years of the date of first employed.~~

- 13) This Agreement shall become effective commencing upon **Council approval** the 3rd day of February, 2014 and shall continue until the employee is no longer employed by the City of Pleasant Hill as provided for in this agreement. If any provision or any portion thereof contained in the Agreement, or portion thereof, shall be deemed unconstitutional, invalid or unenforceable, the remainder of this Agreement, or portion thereof, shall be deemed severable, shall not be affected and shall remain in full force and effect.

IN WITNESS WHEREOF, the City of Pleasant Hill City Council has caused this Agreement to be signed and executed on behalf of the Council, duly attested by this City Attorney.

CITY OF PLEASANT HILL
POLK COUNTY, IOWA
CITY COUNCIL

EMPLOYEE

Sara Kurovski, Mayor

Thomas Solberg

Date

ATTEST:

Dena Spooner, City Clerk/Finance Director

Approved as to form by City Attorney, Brad Skinner

Brad Skinner

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 09, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	MADLINE STURMS, AICP, CPM SENIOR PLANNER
SUBJECT:	YOUNGSTOWN TRAIL PHASE 1 PROJECT APPROVAL OF PLANS AND SPECIFICATIONS – SETTING DATES FOR THE RECEIPT OF BIDS AND PROJECT AWARD

BACKGROUND:

The City has an existing plan for trail development within the community. Segments of the trail are completed when private development occurs, when road projects are completed and as separate trail projects. The Canterbury Heights project will continue the next section of trail extension for Youngstown Trail and the remainder of the project is on public property. This trail portion connects the on-street facilities at NE 56th Street and will eventually connect to the Gay Lea Wilson trail at Parkridge Avenue. Plans and specifications for the first phase have now been completed for approval and scheduling for bidding and project award. The package is proposed for a bid letting date of March 2, 2016 and potential contract award on March 8, 2016. The Engineer will be available at the Council meeting to discuss the project and answer questions.

ANALYSIS/IMPACT:

Completion of the next section of the Youngstown trail would connect additional residents to businesses, services, and other recreational opportunities. Future connections to the south would be considered as future phases. The project would be bid in March to allow for completion during the 2016 construction season.

ALTERNATIVES:

Not approve the plans and specifications. However, this would delay or terminate the project.

FINANCIAL CONSIDERATIONS:

The City Council approved funding for the project in the capital improvement project funds.

RECOMMENDATION:

Consider approval of the attached resolution approving the plans and specifications for areas of the Youngstown Trail Phase 1 Project and setting date for the receipt of bids and the project award.

RESOLUTION #020916-06

**APPROVAL OF THE PLANS AND SPECIFICATIONS FOR THE YOUNGSTOWN
TRAIL PHASE 1 PROJECT AND SETTING A PUBLIC HEARING TO RECEIVE BIDS
AND AWARD CONSTRUCTION CONTRACT**

WHEREAS, the City Council wishes to approve the plans and specifications for the Youngstown Trail Phase 1 Project as prepared by Snyder and Associates; and

WHEREAS, the City Council wishes to set the bid letting date of March 2, 2016 at 10:00 AM for the project and a public hearing to receive the bids and award the construction project on March 8, 2016 at 6:30 PM;

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Pleasant Hill, Iowa that the construction drawings and specifications are hereby approved for the Youngstown Trail Phase 1 Project. BE IT FURTHER RESOLVED THAT the bid letting date will be set for March 2, 2016 at 10:00 AM and that the City Council is hereby setting a public hearing for March 8, 2016 at 6:30 PM to receive the bids and award the construction contract.

Passed and approved February 9, 2016.

Sara Kurovski, Mayor

ATTEST:

Dena Spooner City Clerk/Finance Director

ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COSTS

YOUNGSTOWN TRAIL PHASE 1

City of Pleasant Hill

Snyder & Associates, Inc. Project No. 115.0979.01

Final Plans Submittal

February 4, 2016

ITEM NUMBER	ITEM CODE	ITEM DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	EXTENDED COST
1	2010-108-A-0	CLEARING AND GRUBBING	LS	1.00	\$ 10,000.00	\$ 10,000.00
2	2010-108-D-1	TOPSOIL, ON-SITE	CY	1,097	\$ 10.00	\$ 10,970.00
3	2010-108-E-0	EXCAVATION, CLASS 10	CY	1112	\$ 20.00	\$ 22,240.00
4	2010-108-E-1	SPECIAL BACKFILL	TON	50	\$ 35.00	\$ 1,750.00
5	4030-108-A-1	PIPE CULVERT, TRENCHED, RCP, 18 IN. DIA	LF	82	\$ 45.00	\$ 3,690.00
6	4030-108-A-1	PIPE CULVERT, TRENCHED, RCP, 24 IN. DIA	LF	52	\$ 50.00	\$ 2,600.00
7	4030-108-B-1	PIPE APRON, RCP, 18 IN. DIA WITH FOOTING	EA	3	\$ 2,000.00	\$ 6,000.00
8	4030-108-B-1	PIPE APRON, RCP, 24 IN. DIA WITH FOOTING	EA	1	\$ 2,500.00	\$ 2,500.00
9	6010-108-A-0	MANHOLE SW-401, 60 IN.	EA	1	\$ 2,500.00	\$ 2,500.00
10	6010-108-B-0	INTAKE TYPE SW-513, 4'x4'	EA	1	\$ 4,500.00	\$ 4,500.00
11	6010-108-D-0	MANHOLE ADJUSTMENT, MINOR	EA	2	\$ 1,000.00	\$ 2,000.00
12	7030-108-A-0	REMOVAL OF SIDEWALK	SY	36	\$ 15.00	\$ 540.00
13	7030-108-D-0	SPECIAL SUBGRADE PREPARATION FOR RECREATIONAL TRAIL	SY	2672	\$ 4.00	\$ 10,688.00
14	7030-108-E-0	RECREATIONAL TRAIL, PCC, 6 IN	SY	2327	\$ 40.00	\$ 93,080.00
15	7030-108-G-0	DETECTABLE WARNING	SF	48	\$ 40.00	\$ 1,920.00
16	9010-108-B-0	HYDRAULIC SEEDING, SEEDING, FERTILIZING, AND MULCHING	AC	1.30	\$ 5,000.00	\$ 6,500.00
17	9040-108-D-1	FILTER SOCKS, 12 IN.	LF	408	\$ 5.00	\$ 2,040.00
18	9040-108-D-2	FILTER SOCKS, REMOVAL	LF	408	\$ 1.00	\$ 408.00
19	9040-108-E-0	TEMPORARY RECP, TYPE 2C	SY	1,334	\$ 5.00	\$ 6,670.00
20	9040-108-J-0	RIP RAP, CLASS E	TON	39.7	\$ 50.00	\$ 1,985.00
21	9040-108-N-1	SILT FENCE OR SILT FENCE DITCH CHECK	LF	2,060	\$ 3.00	\$ 6,180.00
22	9040-108-N-3	SILT FENCE OR SILT FENCE DITCH CHECK, REMOVAL OF DEVICE	LF	2,060	\$ 1.00	\$ 2,060.00
23	9040-108-R-0	TURF REINFORCEMENT MAT, TYPE 1	SQ	1.32	\$ 100.00	\$ 132.00
24	11,020-108-A	MOBILIZATION	LS	1	\$ 15,000.00	\$ 15,000.00
25	11,030-108-B	PAINTED PAVEMENT MARKINGS, SOLVENT/WATERBORNE	STA	0.60	\$ 500.00	\$ 300.00
26	9999-999-9-1	SIGNING FOR URBAN CROSSING	LS	1	\$ 5,000.00	\$ 5,000.00
27	9999-999-9-2	LARGE CIT DIRECT. STANDARD SIGN ASSEMBLY & INSTALLATION	EA	1	\$ 5,000.00	\$ 5,000.00
28	9999-999-9-3	SMALL CIT DIRECT. STANDARD SIGN ASSEMBLY & INSTALLATION	EA	1	\$ 3,500.00	\$ 3,500.00
29	9999-999-9-4	SMALL CIT DIRECT. STANDARD SIGN ASSEMBLY & DELIVERY	EA	3	\$ 3,000.00	\$ 9,000.00
30	9999-999-9-5	TRAFFIC CONTROL	LS	1	\$ 2,000.00	\$ 2,000.00

TOTAL \$ 240,753.00

CONTINGENCY +/- 5% \$ 12,100.00

TOTAL \$ 252,900.00

CONSTRUCTION PLANS FOR CITY OF PLEASANT HILL POLK COUNTY, IOWA YOUNGSTOWN TRAIL PHASE 1

LEGEND

Features	Existing	Proposed
Spot Elevation	93.0	93.0
Contour Elevation	93	93
Fence (Barbed, Field, Hog)	-x-x-	-x-x-
Fence (Chain Link)	-H-H-	-H-H-
Fence (Wood)	-A-A-	-A-A-
Fence (Silt)	-S-S-	-S-S-
Tree Line	~ ~ ~	~ ~ ~
Tree Stump	⊗	⊗
Deciduous Tree \ Shrub	⊙	⊙
Coniferous Tree \ Shrub	⊛	⊛
Communication	-C(x)-	-C-
Overhead Communication	-OC(x)-	-OC-
Fiber Optic	-FO(x)-	-FO-
Underground Electric	-E(x)-	-E-
Overhead Electric	-OE(x)-	-OE-
Gas Main with Size	-4" G(x)-	-4" G-
High Pressure Gas Main with Size	-4" HPG(x)-	-4" HPG-
Water Main with Size	-8" W(x)-	-8" W-
Sanitary Sewer with Size	-8" S(x)-	-8" S-
Duct Bank	-DUCT(x)-	-DUCT-
Test Hole Location for SUE w/ID	⊕	⊕

(x) Denotes the survey quality service level for utilities

Sanitary Manhole	⊙	⊙
Storm Sewer with Size	12" ST	12" ST
Storm Manhole	⊙	⊙
Single Storm Sewer Intake	⊙	⊙
Double Storm Sewer Intake	⊙	⊙
Fire Hydrant	⊙	⊙
Fire Hydrant on Building	⊙	⊙
Water Main Valve	⊙	⊙
Water Service Valve	⊙	⊙
Well	⊙	⊙
Utility Pole	⊙	⊙
Guy Anchor	⊙	⊙
Utility Pole with Light	⊙	⊙
Utility Pole with Transformer	⊙	⊙
Street Light	⊙	⊙
Yard Light	⊙	⊙
Electric Box	⊙	⊙
Electric Transformer	⊙	⊙
Traffic Sign	⊙	⊙
Communication Pedestal	⊙	⊙
Communication Manhole	⊙	⊙
Communication Handhole	⊙	⊙
Fiber Optic Manhole	⊙	⊙
Fiber Optic Handhole	⊙	⊙
Gas Valve	⊙	⊙
Gas Manhole	⊙	⊙
Gas Apparatus	⊙	⊙
Fence Post or Guard Post	⊙	⊙
Underground Storage Tank	⊙	⊙
Above Ground Storage Tank	⊙	⊙
Sign	⊙	⊙
Satellite Dish	⊙	⊙
Mailbox	⊙	⊙
Soil Boring	⊙	⊙

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI/ ASCE 38-02 STANDARD.

QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.

QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.

QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

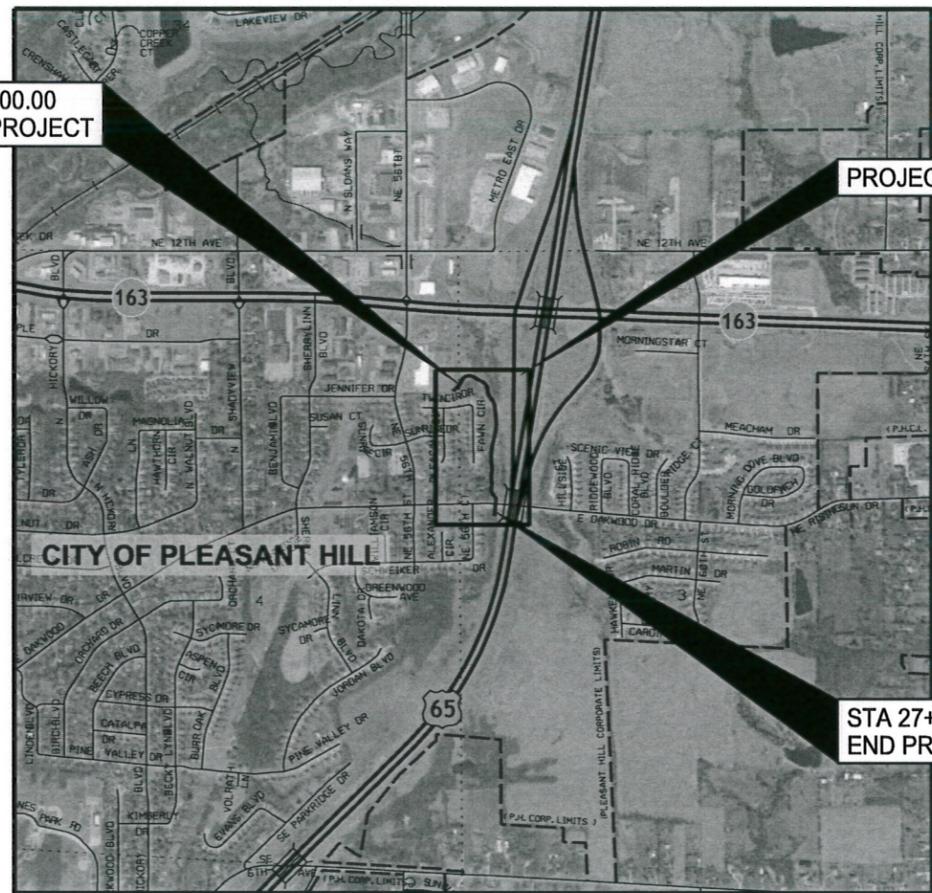
UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

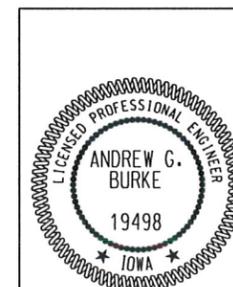
UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 551504806

C1-COMMUNICATION	CENTURYLINK Tom Sturmer 303-664-8090 Thomas.sturmer@centurylink.com	OC-AERIAL COMMUNICATION	MEDIACOM COMMUNICATIONS CORP Paul May 515-246-2252 Pmay@mediacomcc.com
W1-WATER	DES MOINES WATER WORKS Jana Hodges 515-283-8729 hodges@dmww.com	NO RESPONSE	LEVEL 3 COMMUNICATIONS Trevor Peevey 512-742-3805 Level3.networkrelocations@witel.com
G2-PETROLEUM PRODUCT	KOCH CRUDE P/L - WOOD RIVER Nolan Dealy 316-828-8160 onecall@kochind.com	G-PETROLEUM PRODUCT	MAGELLAN MIDSTREAM PARTNERS Tim Kassen 918-574-7351 tim.kassen@magellanlp.com
E1-ELECTRIC G1-GAS	MIDAMERICAN ENERGY Craig Ranfeld 515-252-6632 MECDSDesignLocates@midamerican.com		
C2-COMMUNICATION	MCI/VERIZON JANette Harris 972-729-6650 janette.l.harris@verizonbusiness.com		
STORM SANITARY	CITY OF PLEASANT HILL Gary Patterson 515-208-5211 gpatterson@ci.pleasant-hill.ia.us		



VICINITY MAP



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

Andrew G. Burke 02/04/16
Andrew G. Burke, P.E. Date

License Number 19498
My License Renewal Date is December 31, 2016
Pages or sheets covered by this seal:
ALL SHEETS

INDEX OF SHEETS

- A.1 TITLE SHEET
- B.1 TYPICAL SECTIONS
- C.1-C.2 GENERAL NOTES AND QUANTITIES
- C.3-C.4 POLLUTION PREVENTION PLAN
- D.1-D.4 PLAN AND PROFILE
- G.1-G.2 SURVEY CONTROL
- M.1 STORM SEWER PROFILES
- S.1 SIDEWALK RAMP LAYOUT
- U.1-U.4 CENTRAL IOWA TRAIL SIGN DETAILS
- U.5 TRAIL MARKER SIGNAGE PLAN
- W.1-W.7 CROSS SECTIONS

YOUNGSTOWN TRAIL PHASE 1

TITLE SHEET



SNYDER & ASSOCIATES, INC.

POLK, IOWA

2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Project No: 1150979

Sheet A.1

MARKS
Engineer: TNJ Checked By: AGB Scale: 1"=1000'
Technician: DSS Date: 02/05/16 Field Bk: Pg:
Revision: 1150979
Project No: 1150979
Sheet A.1

ESTIMATED PROJECT QUANTITIES

ITEM NO.	ITEM CODE	ITEM	UNIT	TOTAL	AS BUILT QTY.
1	2010-108-A-0	CLEARING AND GRUBBING	LS	1	
2	2010-108-D-1	TOPSOIL, ON-SITE	CY	1097	
3	2010-108-E-0	EXCAVATION, CLASS 10	CY	1112	
4	2010-108-E-1	SPECIAL BACKFILL	TON	50	
5	4030-108-A-1	PIPE CULVERT, TRENCHED, RCP, 18 IN. DIA	LF	82	
6	4030-108-A-1	PIPE CULVERT, TRENCHED, RCP, 24 IN. DIA	LF	52	
7	4030-108-B-1	PIPE APRON, RCP, 18 IN. DIA WITH FOOTING AND GUARD	EA	3	
8	4030-108-B-1	PIPE APRON, RCP, 24 IN. DIA WITH FOOTING	EA	1	
9	6010-108-B-0	INTAKE TYPE SW-512, 24"	EA	1	
10	6010-108-B-0	MANHOLE SW-401, 60"	EA	1	
11	6010-108-D-0	MANHOLE ADJUSTMENT, MINOR	EA	2	
12	7030-108-A-0	REMOVAL OF SIDEWALK	SY	36	
13	7030-108-D-0	SPECIAL SUBGRADE PREPARATION FOR RECREATIONAL TRAIL	SY	2672	
14	7030-108-E-0	RECREATIONAL TRAIL, PCC, 6 IN	SY	2327	
15	7030-108-G-0	DETECTABLE WARNING	SF	48	
16	9010-108-B-0	HYDRAULIC SEEDING, SEEDING, FERTILIZING, AND MULCHING	AC	1.10	
17	9040-108-D-1	FILTER SOCKS, 12 IN.	LF	1	
18	9040-108-D-2	FILTER SOCKS, REMOVAL	LF	408	
19	9040-108-E-0	TEMPORARY RECP, TYPE 2C	SY	1,334	
20	9040-108-J-0	RIP RAP, CLASS E	TON	39.7	
21	9040-108-N-1	SILT FENCE OR SILT FENCE DITCH CHECK	LF	2,060	
22	9040-108-N-3	SILT FENCE OR SILT FENCE DITCH CHECK, REMOVAL OF DEVICE	LF	2,060	
23	9040-108-R-0	TURF REINFORCEMENT MAT, TYPE 1	SQ	1.32	
24	11,020-108-A	MOBILIZATION	LS	32	
25	11,030-108-B	PAINTED PAVEMENT MARKINGS, SOLVENT/WATERBORNE	STA	0.60	
26	9999-999-9-1	SIGNING FOR URBAN CROSSING	LS	1	
27	9999-999-9-2	LARGE CIT DIRECT. STANDARD SIGN ASSEMBLY & INSTALLATION	EA	1	
28	9999-999-9-3	SMALL CIT DIRECT. STANDARD SIGN ASSEMBLY & INSTALLATION	EA	1	
29	9999-999-9-4	SMALL CIT DIRECT. STANDARD SIGN ASSEMBLY & DELIVERY	EA	3	
30	9999-999-9-5	TRAFFIC CONTROL	LS	1	

REFER TO SHEET C-2 FOR ESTIMATE REFERENCE INFORMATION

GENERAL NOTES:

- COMPLETE ALL CONSTRUCTION IN ACCORDANCE WITH THE 2016 IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), THESE PROJECT PLANS, AND CONTRACT DOCUMENTS, INCLUDING THE IOWA DOT STANDARD SPECIFICATIONS WHEN REFERENCED.
- NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- AVOID DAMAGE TO EXISTING TRAIL. CONTRACTOR SHALL REPLACE TRAIL AND SIDEWALK DAMAGED DURING CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO OWNER. SURFACE PROTECTION MEASURES ARE RECOMMENDED.
- DO NOT RESTRICT PUBLIC ACCESS ON THE ADJACENT TRAIL AND SIDEWALK DURING CONSTRUCTION. KEEP THE TRAIL AND SIDEWALK CLEAR OF EQUIPMENT AND MATERIALS AT ALL TIMES. PROVIDE PLANKING OR GRANULAR SURFACING AS NECESSARY TO KEEP TRAIL AND SIDEWALK OPEN (INCIDENTAL). CLEARLY MARK TRAIL AND SIDEWALK CLOSURES AND BARRICADE AS NECESSARY TO PROTECT THE WORK AREA.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETED.
- NOTIFY UTILITY COMPANIES PRIOR TO COMMENCING WORK. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. REPAIR ANY DAMAGE CAUSED BY THE CONTRACTOR'S CARELESSNESS AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE EQUIPMENT AND/OR MATERIALS ON PAVEMENT OR WITHIN PUBLIC RIGHT OF WAY ON STREETS OPEN TO TRAFFIC. CONTRACTOR SHALL PROVIDE AREAS AS NEEDED FOR STORAGE OF EQUIPMENT AND/OR MATERIALS.
- ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL PROVIDE WASTE AREAS OR DISPOSAL SITES FOR WASTE MATERIAL REMOVED FROM THE PROJECT WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK. NO EXTRA PAYMENTS WILL BE MADE FOR MATERIAL HAULED TO THESE SITES. DISPOSE OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. DO NOT PLACE WASTE MATERIAL WITHIN THE RIGHT OF WAY. KEEP CONSTRUCTION DEBRIS AND DIRT OFF OF ADJACENT PROPERTIES AND STREETS.
- PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION AND DUST POLLUTION. COMPLY WITH THE SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE AND ALL LOCAL ORDINANCES AND WITH THE STORM WATER POLLUTION PREVENTION PLAN.
- DO NOT RESTRICT DRAINAGE CHANNELS AND PROTECT ALL EXISTING DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED. CONTRACTOR IS FULLY LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR THE HANDLING OF STORM WATER FLOW DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS.
- THE TOP SIX INCHES OF ALL DISTURBED AREAS SHALL BE FREE OF ROCK AND DEBRIS AND SHALL BE SUITABLE FOR THE ESTABLISHMENT OF VEGETATION, SUBJECT TO THE APPROVAL OF THE OWNER.
- AVOID DAMAGE TO PRIVATE PROPERTY DURING CONSTRUCTION. REPAIR ANY DAMAGE CAUSED BY THE CONTRACTOR'S CARELESSNESS AT THE CONTRACTOR'S EXPENSE.
- CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO OCCUR BETWEEN 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH SATURDAY. NO CONSTRUCTION ACTIVITIES ARE ALLOWED ON SUNDAYS WITHOUT APPROVAL OF THE OWNER.
- SWPPP PREPARATION AND INSPECTION TO BE PERFORMED BY THE OWNER.

TRAFFIC CONTROL PLAN

- TRAFFIC ON E OAKWOOD DRIVE SHALL BE MAINTAINED AT ALL TIMES. AT LEAST ONE LANE OF TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. PROVIDE FLAGGERS WHEN LANE CLOSURES ARE IN PLACE.
- TRAFFIC CONTROL ON THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AS ADOPTED BY THE IOWA DEPARTMENT OF TRANSPORTATION PER 761 OF THE IOWA ADMINISTRATIVE CODE CHAP. 130.
- ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED, CLEANED, AND REMOVED BY THE CONTRACTOR. ALL TRAFFIC CONTROL FILL REMOVE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL CHECK TRAFFIC CONTROL DEVICES DAILY AND REPAIR OR REPLACE DAMAGED DEVICES PROMPTLY.
- THE TRAIL UNDER CONSTRUCTION SHALL REMAIN CLOSED TO THE PUBLIC UNTIL CONSTRUCTION IS COMPLETE.
- THE SIDEWALKS ALONG E OAKWOOD DRIVE MAY NOT BE CLOSED FOR CONSTRUCTION CONCURRENTLY. ONE SIDE OF E OAKWOOD DRIVE SHALL BE MAINTAINED FOR PEDESTRIAN TRAFFIC AT ALL TIMES. PEDESTRIAN DETOUR SIGNAGE FOR SIDEWALK CLOSURES AT NE 56TH STREET.
- THE CONTRACTOR MUST PROVIDE 10 CALENDAR DAYS ADVANCE NOTIFICATION OF PEDESTRIAN PATH CLOSURE TO THE IOWA DEPARTMENT OF THE BLIND (Richard.sorey@blind.state.ia.us), AND THE PROJECT ENGINEER. THE NATIONAL FEDERATION OF THE BLIND OF IOWA (nfbiowa@questoffice.net), AND THE PROJECT ENGINEER.
- PROPOSED CHANGES IN THE TRAFFIC CONTROL PLAN SHALL BE REVIEWED WITH THE ENGINEER AT LEAST 48 HOURS BEFORE CHANGES ARE MADE IN THE FIELD.

MARK	REVISION	DATE	BY
Engineer: TNJ	Checked By: ACG	AS SHOWN	
Technician: DSS	Date: 02/05/16	Field No:	
Project No:	1150979	Sheet	C.1

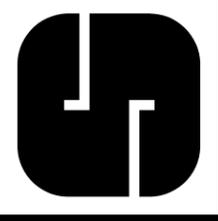
YOUNGSTOWN TRAIL PHASE 1

GENERAL NOTES AND QUANTITIES

SNYDER & ASSOCIATES, INC.

POLK, IOWA

2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



Project No:	1150979
Sheet	C.1

ESTIMATE REFERENCE NOTES

ITEM NO.	ITEM CODE	DESCRIPTION
1	2010-108-A-0	CLEARING AND GRUBBING Remove all trees and shrubs as directed by engineer to construct trail and drainage improvements as shown in the plans. City to approve tree removals prior to construction. Trim all trees and shrubs to maintain a 10' vertical clearance above trail and a 5' horizontal clearance from edge of trail. Contractor must coordinate with engineer prior to trimming operations. All material removed shall become property of the contractor and shall be removed from the project site. Item includes compensation for all labor, equipment, and materials necessary to prune trees and brushes and to properly dispose of material by removing off site. Tree clearing operations to be completed by March 31th.
2	2010-108-D-1	TOPSOIL, ON-SITE Quantity is based on 6 inch depth over vegetative disturbed areas. Topsoil placement to be a uniform 6 inches over all disturbed areas minus the trail paving. Quantity includes 1,097 cy of strip and 936 cy of placement + 30% shrink for a contractor waste of 161. Waste material to be placed on site at the direction of the engineer. Item shall be paid plan quantity.
3	2010-108-E-0	EXCAVATION, CLASS 10 Cut = 710 cy, Fill +30% Shrink = 1112, with a balance of 402 cy of contractor furnished fill, the quantities of cut and fill account for all earthwork necessary for trail construction, finishing shoulders and slopes adjacent to trail needed to construct the trail as per the contract documents. Hauling is considered incidental to this item. Item shall be paid plan quantity.
4	4030-108-A-1	PIPE CULVERT, TRENCHED, PCC, 18 IN. DIA Class 2000 D pipe shall be used. Refer to D sheets for locations. Flowlines shall be verified in the field. Class R-2 Bedding shall be used.
5	4030-108-A-1	PIPE CULVERT, TRENCHED, PCC, 24 IN. DIA Class 2000 D pipe shall be used. Refer to D sheets for locations. Flowlines shall be verified in the field. Class R-2 Bedding shall be used.
6	4030-108-B-1	PIPE APRON, PCC, 18 IN. DIA WITH FOOTING AND GUARD Refer to D sheets for locations. Installation shall conform to Iowa DOT Standard Road Plans DR-103 and DR-201, refer to SUDAS 4030.221. Concrete footing and apron guard are considered incidental to this item.
7	4030-108-B-1	PIPE APRON, PCC, 24 IN. DIA WITH FOOTING Refer to D sheets for locations. Installation shall conform to Iowa DOT Standard Road Plans DR-103 and DR-201, refer to SUDAS 4030.221. Concrete footing is considered incidental to this item.
8	6010-108-B-0	INTAKE TYPE SW-512, 24" Refer to D sheets for location.
9	6010-108-B-0	MANHOLE SW-401, 60" Refer to D sheets for location.
10	6010-108-D-0	MANHOLE ADJUSTMENT, MINOR Refer to D sheets for location. Contractor is to install infiltration barrier in manholes.
11	7030-108-A-0	REMOVAL OF SIDEWALK Refer to D sheets for location. Any damage to sidewalks not designated for removal will be repaired at the contractors expense without reimbursement.
12	7030-108-D-0	SPECIAL SUBGRADE PREPARATION FOR RECREATIONAL TRAIL See sheet B.1 detail 1 for typical section.
13	7030-108-E-0	RECREATIONAL TRAIL, PCC, 6 IN See sheet B.1 detail 1 for typical section. PCC mix shall be C-4. Curing of PCC per the specifications shall be included in this item. Contractor shall protect the existing Youngstown Trail and sidewalk adjacent to E Oakwood Dr. any damage to existing Youngstown Trail and sidewalk adjacent E Oakwood Dr. will be repaired at the contractors expense.
14	7030-108-G-0	DETECTABLE WARNING Detectable warnings shall be cast iron panels. Refer to D and S sheets for locations.
15	9010-108-B-0	HYDRAULIC SEEDING, SEEDING, FERTILIZING, AND MULCHING Includes all disturbed areas. If contractor goes outside of proposed construction limits the additional disturbed area will be reseeded at the contractors expense without reimbursement. Contractor to use bonded fiber matrix as mulching agent. Installation shall conform with Section 9010 of SUDAS Specifications.
16	9040-108-D-1	FILTER SOCKS, 12 IN. Refer to C sheets for locations.
17	9040-108-D-2	FILTER SOCKS, REMOVAL Refer to C sheets for locations.
18	9040-108-E-0	TEMPORARY RECP, TYPE 2C Refer to C sheets for locations. RECP material is to be 8' wide.
19	9040-108-J-0	RIP RAP, CLASS E See SUDAS Figure 9040.111 for details on rip rap placement around pipe apron. Refer to D sheets for locations. Engineering fabric under rip-rap is considered incidental to this item.
20	9040-108-N-1	SILT FENCE OR SILT FENCE DITCH CHECK Contractor shall install silt fence as necessary based on site conditions during construction. The engineer or owner may direct the contractor to install additional silt fence to prevent soil erosion and sedimentation off site or into adjacent storm sewer system. Clean out of silt fence is incidental to this item. Silt fence shall be cleaned out when siltation has utilized 1/2 of the capacity (height) of the silt fence.
21	9040-108-N-3	SILT FENCE OR SILT FENCE DITCH CHECK, REMOVAL OF DEVICE Refer to C sheets for locations.
22	9040-108-R-0	TURF REINFORCEMENT MAT, TYPE 1 Refer to C sheets for location.
23	11,020-108-A	MOBILIZATION
24	11,030-108-B	PAINTED PAVEMENT MARKINGS, SOLVENT/WATERBORNE Refer to B and D sheets for location.
25	9999-999-9-1	SIGNING FOR URBAN CROSSING All materials, specifications, and construction methods shall comply with Section 2524 of the Iowa Department of Transportation Standard Specifications for Highway and Bridge Construction, Series 2015, and all supplemental specifications. The Contractor shall also comply with the current Manual on Uniform Traffic Control Devices (MUTCD) for streets and highways as adopted by the Iowa Department of Transportation per 761 of the Iowa Administrative Code (IAC), Chapter 130. Refer to detail 2 on sheet B.1. Metal posts shall be included in this item. This item shall be paid as a lump sum for all labor, equipment, and materials needed to properly install signage per plan set, Specifications, and MUTCD.
26	9999-999-9-2	LARGE CIT DIRECT. STANDARD SIGN ASSEMBLY & INSTALLATION This item shall be paid per sign, which includes all signage material (posts, brackets, aluminum sheeting, etc.), assembly, delivery, labor and equipment needed to properly install signage per sheets U.1 - U.4.

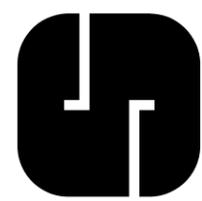
ESTIMATE REFERENCE NOTES

ITEM NO.	ITEM CODE	DESCRIPTION
27	9999-999-9-3	SMALL CIT DIRECT. STANDARD SIGN ASSEMBLY & INSTALLATION This item shall be paid per sign, which includes all signage material (posts, brackets, aluminum sheeting, etc.), assembly, delivery, labor and equipment needed to properly install signage per U sheets. Contractor to coordinate directional signage text with owner prior to fabrication.
29	9999-999-9-4	SMALL CIT DIRECT. STANDARD SIGN ASSEMBLY & DELIVERY This item shall be paid per sign, which includes all signage material (posts, brackets, aluminum sheeting, etc.), assembly, and delivery to 1600 South Pleasant Hill Blvd, Pleasant Hill, Iowa. Contractor is to coordinate delivery with Heath Ellis (515-208-5212). Contractor to coordinate directional signage text with owner prior to fabrication.
30	9999-999-9-5	TRAFFIC CONTROL This item includes supply, erection, maintenance and removal of all signs, construction fence, barricades and other traffic control devices necessary for the construction of Youngstown trail. Refer to sheet C.1 for project traffic control details. Flaggers are considered incidental to this item. The contractor shall comply with Section 2528 of the Iowa Department of Transportation Standard Specifications for Highway and Bridge Construction, Series 2015, and all supplemental specifications for utilizing flaggers. All traffic control devices shall be in accordance with the current Manual on Uniform Traffic Control Devices (MUTCD) for the Streets and Highways as adopted by the Iowa Department of Transportation per 761 of the Iowa Administrative Code (IAC), Chapter 130. Adjacent segments of paved trail shall remain open at all times to the public during construction. The contractor is responsible to furnish, maintain, mobilize, and remove the traffic control devices during and after construction.

YOUNGSTOWN TRAIL PHASE 1

GENERAL NOTES AND QUANTITIES

SNYDER & ASSOCIATES, INC.



Project No: 1150979

Sheet C.2

POLK, IOWA

2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Project No: 1150979

Sheet C.2

MARK	REVISION	DATE	BY
Engineer: TNJ	Checked By: ACB	AS SHOWN	
Technical: DSS	Date: 02/05/16	Field Bk:	

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POLLUTION PREVENTION NOTES

A. POLLUTION PREVENTION AND EROSION PROTECTION

1. CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.
2. DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY, INCLUDING REASONABLE ATTORNEY FEES INCURRED TO OWNER. FURTHER, IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY, THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.

B. STORM WATER DISCHARGE PERMIT

1. THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 INCLUDING CREATING OR MAINTAINING THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND POSSIBLY OBTAINING THE GENERAL PERMIT COVERAGE FROM THE IDNR.
2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF PUBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP, SITE INSPECTION LOG, AND OTHER ITEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. FAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.
3. A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES. ALL PLANS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.

C. POLLUTION PREVENTION PLAN:

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLAN DRAWINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.
2. THE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES PERMIT COVERAGE. ALL BMP'S AND EROSION CONTROL MEASURES REQUIRED AS A RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT. ADDITIONAL BMP'S FROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.
3. THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.
4. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:
 - a. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.
 - b. INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.
 - c. PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.
 - d. MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.
 - e. INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EVERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITTED WEEKLY TO THE OWNER OR ENGINEER DURING CONSTRUCTION. REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.

- f. PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.
- g. INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUNOFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.
- h. RESPREAD A MINIMUM OF 4 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.
- i. STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, OR SOD AS SOON AS PRACTICAL UPON COMPLETION OR DELAY OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES NO LATER THAN 14 CALENDAR DAYS AFTER CONSTRUCTION ACTIVITY HAS FINISHED OR IS PLANNED TO BE DELAYED MORE THAN 21 CALENDAR DAYS.
- j. COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.
- k. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

MARK	REVISION	DATE	BY
Engineer: TNJ	Checked By: ACG	AS SHOWN	AS SHOWN
Technician: DSS	Date: 02/05/16	Field Bk:	Proj:
Project No: 1150979	Sheet	C-3	

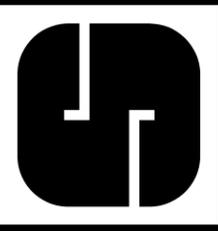
YOUNGSTOWN TRAIL PHASE 1

POLLUTION PREVENTION PLAN

SNYDER & ASSOCIATES, INC.

POLK, IOWA

2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
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Project No: 1150979	Sheet C.3
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NOTE: INSTALL RECP ON ALL DITCH SECTIONS.
 INSTALL ALONG ALL FORESLOPES AND BACKSLOPES
 A MINIMUM DISTANCE OF 3 FEET.

LEGEND	
	12" FILTER SOCK
	SILT FENCE
	REVETMENT

0 60
 SCALE (FEET)

MARK	REVISION	DATE	BY
Engineer: TNJ	Checked By: ACB	Scale: 1" = 60'	
Technician: DSS	Date: 02/05/16	Field Bk:	Pjt:
Project No: 1150979		Sheet	C.4

YOUNGSTOWN TRAIL PHASE 1
POLLUTION PREVENTION PLAN
SNYDER & ASSOCIATES, INC.
 POLK, IOWA
 2727 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
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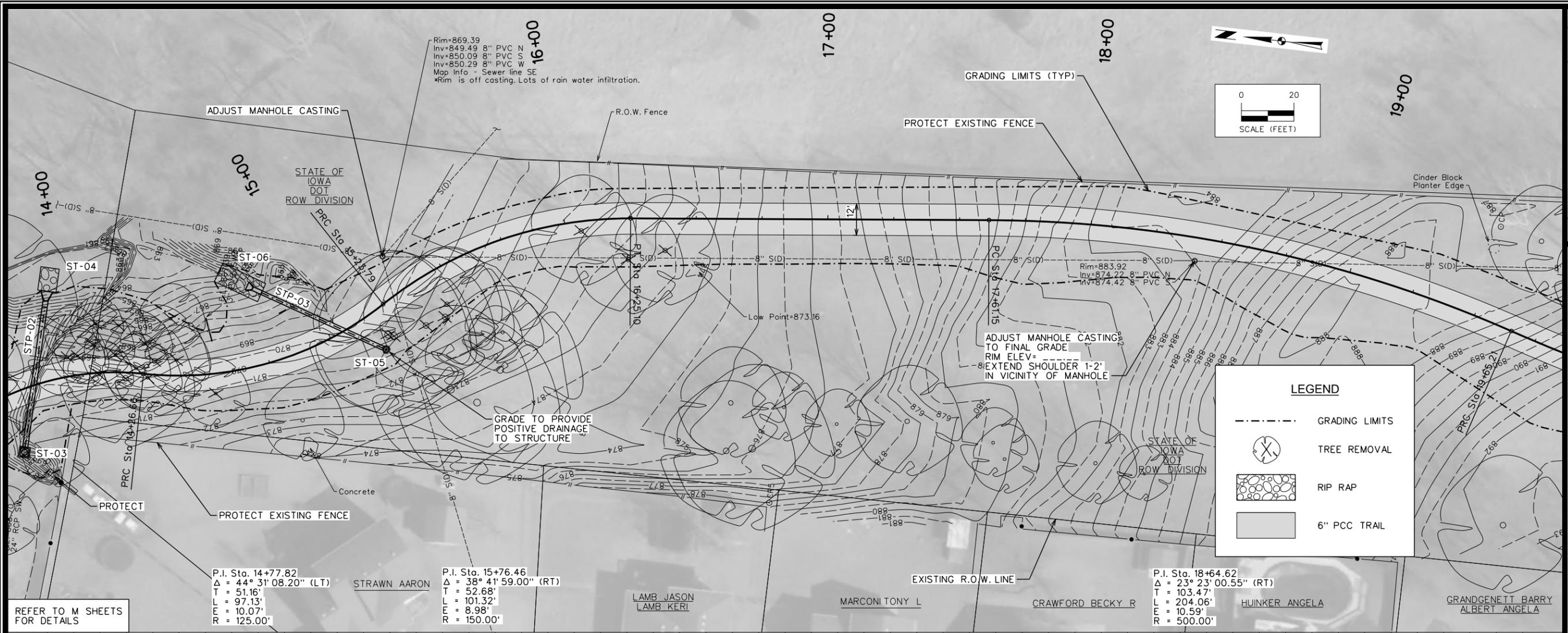
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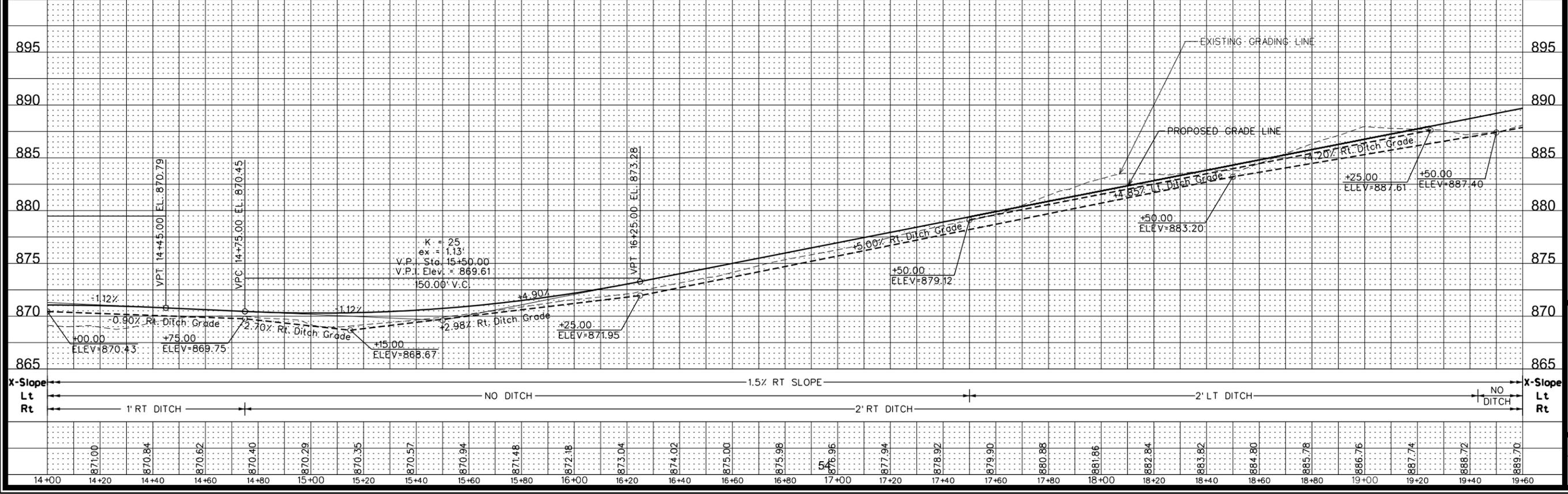
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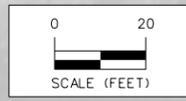


LEGEND

- GRADING LIMITS
- (X) TREE REMOVAL
- [Pattern] RIP RAP
- [Shaded] 6" PCC TRAIL



Rim=869.39
 Inv=849.49 8" PVC N
 Inv=850.09 8" PVC S
 Inv=850.29 8" PVC W
 Map Info - Sewer line SE
 *Rim is off casting. Lots of rain water infiltration.



LEGEND

- GRADING LIMITS
- (X) TREE REMOVAL
- [Pattern] RIP RAP
- [Shaded] 6" PCC TRAIL

REFER TO M SHEETS FOR DETAILS

P.I. Sta. 14+77.82
 $\Delta = 44^\circ 31' 08.20''$ (LT)
 T = 51.16'
 L = 97.13'
 R = 10.07'
 R = 125.00'

P.I. Sta. 15+76.46
 $\Delta = 38^\circ 41' 59.00''$ (RT)
 T = 52.68'
 L = 101.32'
 R = 8.98'
 R = 150.00'

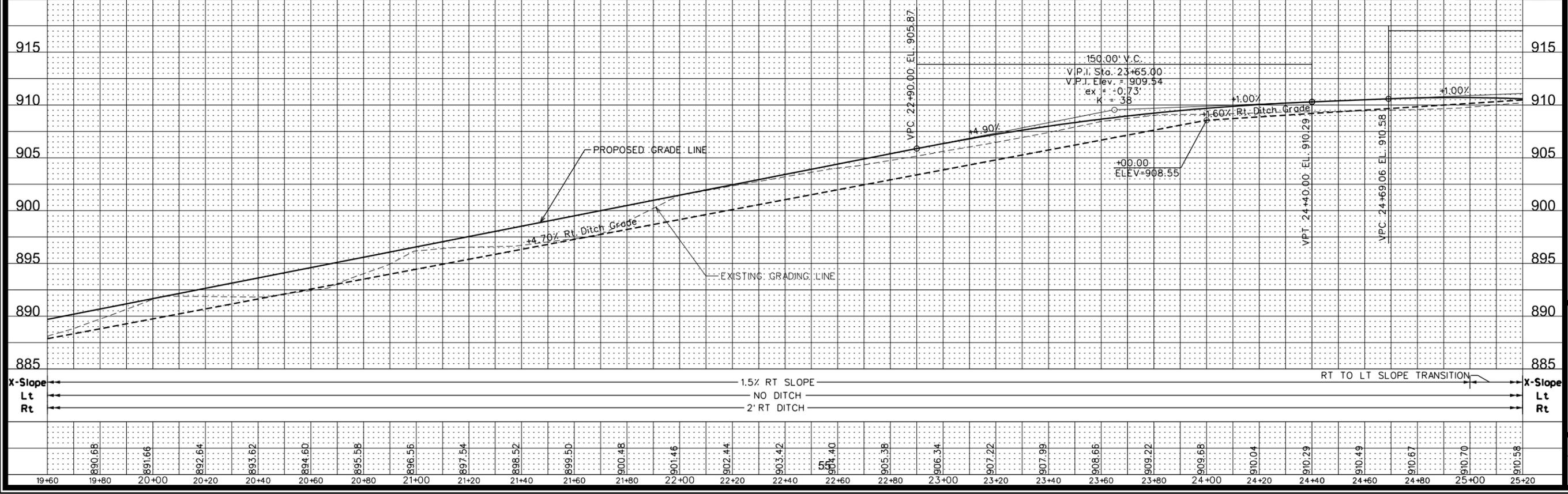
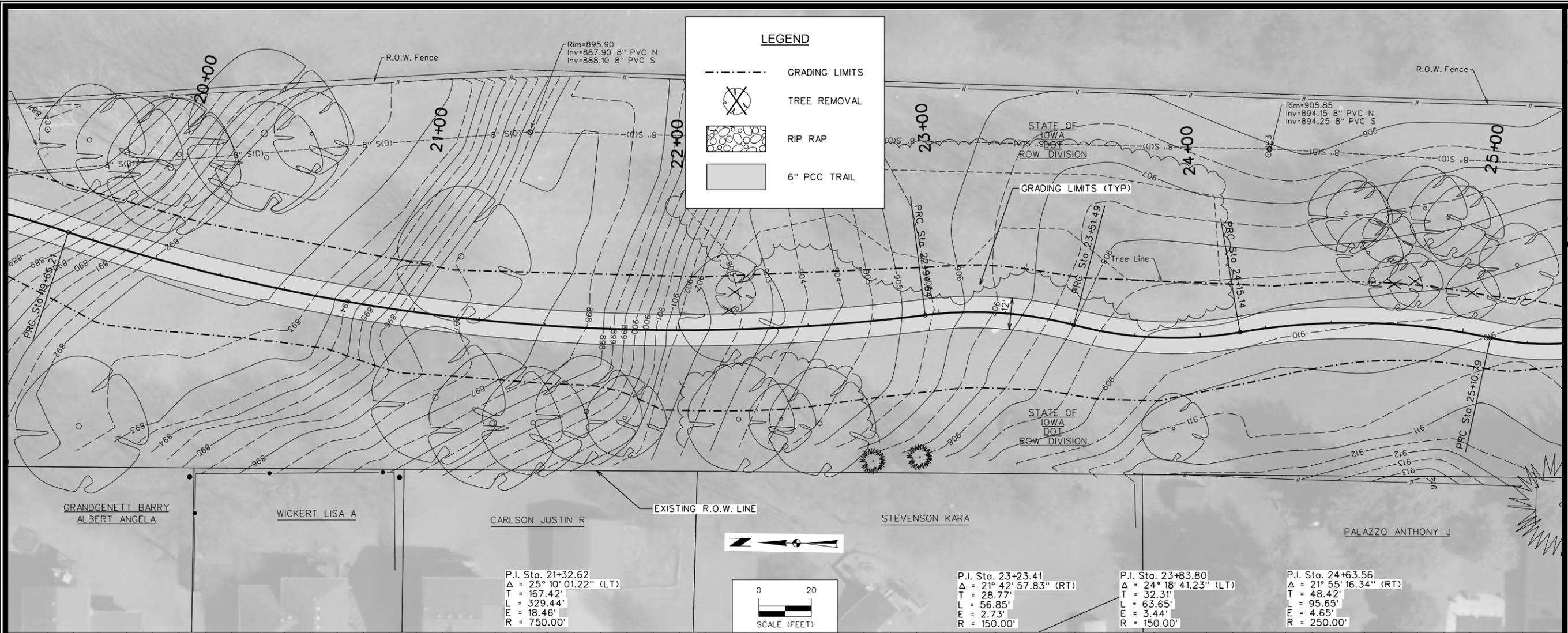
P.I. Sta. 18+64.62
 $\Delta = 23^\circ 23' 00.55''$ (RT)
 T = 103.47'
 L = 204.06'
 R = 10.59'
 R = 500.00'

MARK	REVISION	DATE	BY
TNJ	Checked By: ACG	02/05/16	Scale: 1"=20'
DSS	Date: 1150979	Field Bk:	Sheet D.2

POLK, IOWA
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YOUNGSTOWN TRAIL PHASE 1
PLAN AND PROFILE
SNYDER & ASSOCIATES, INC.

Project No: 1150979
 Sheet D.2



MARK	REVISION	DATE	BY
TNJ	Checked By: ACB	11/20/16	
DSS	Date: 02/05/16		
	Field Bk:		
	Project No: 1150979		Sheet D.3

POLK, IOWA

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YOUNGSTOWN TRAIL PHASE 1

PLAN AND PROFILE

SNYDER & ASSOCIATES, INC.

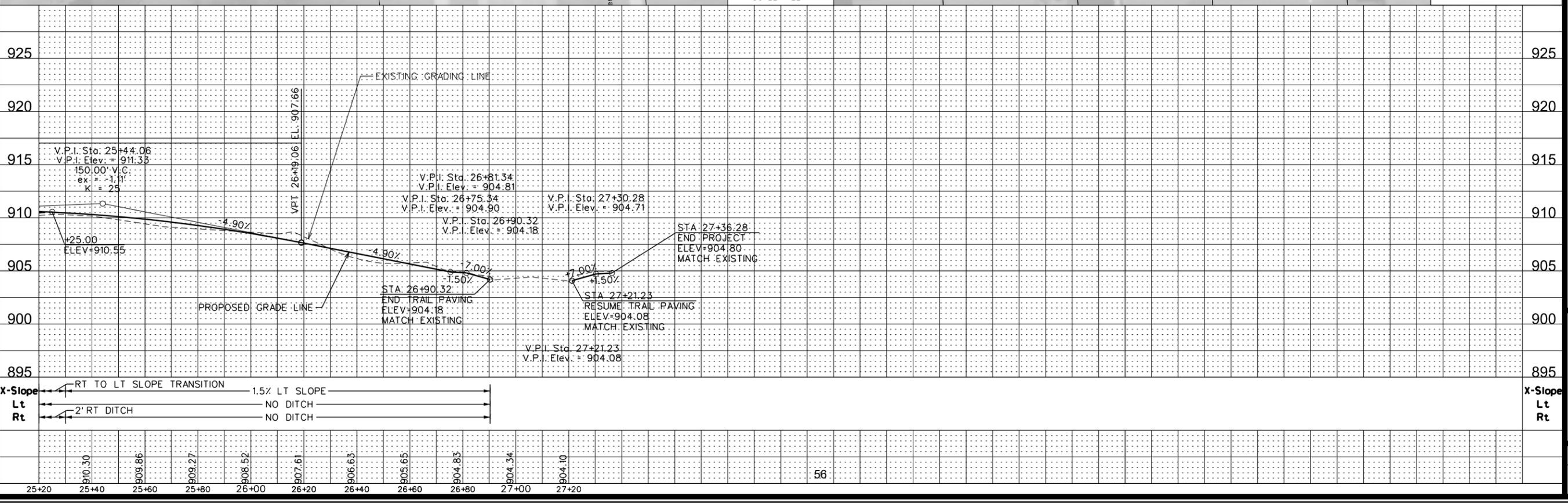
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LEGEND	
	GRADING LIMITS
	TREE REMOVAL
	RIP RAP
	DETECTABLE WARNING
	SIDEWALK REMOVAL
	6" PCC TRAIL



MARK	REVISION	DATE	BY
TNJ	Checked By: AGB	11/20/16	
DSS	Date: 02/05/16		

Project No: 1150979
 Sheet: D.4

YOUNGSTOWN TRAIL PHASE 1

PLAN AND PROFILE

SNYDER & ASSOCIATES, INC.

POLK, IOWA

2727 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

Project No: 1150979
 Sheet: D.4

Curve Data
x-----x

Curve TRAIL-6
P.I. Station = 15+76.46 N 581,531.32 E 1,640,487.46
Delta = 38° 41' 59.00" (RT)
Degree = 38° 11' 49.87"
Tangent = 52.68
Length = 101.32
Radius = 150.00
External = 8.98
Long Chord = 99.40
Mid. Ord. = 8.47
P.C. Station = 15+23.79 N 581,568.62 E 1,640,450.27
P.T. Station = 16+25.10 N 581,478.96 E 1,640,493.17
C.C. = N 581,462.72 E 1,640,344.05
Back = S 44° 54' 52.35" E
Ahead = S 6° 12' 53.35" E
Chord Bear = S 25° 33' 52.85" E

Course from PT TRAIL-6 to PC TRAIL-7 S 6° 12' 53.35" E Dist 136.04

Curve Data
x-----x

Curve TRAIL-7
P.I. Station = 18+64.62 N 581,240.85 E 1,640,519.09
Delta = 23° 23' 00.55" (RT)
Degree = 11° 27' 32.96"
Tangent = 103.47
Length = 204.06
Radius = 500.00
External = 10.59
Long Chord = 202.65
Mid. Ord. = 10.37
P.C. Station = 17+61.15 N 581,343.71 E 1,640,507.89
P.T. Station = 19+65.21 N 581,141.99 E 1,640,488.55
C.C. = N 581,289.58 E 1,640,010.83
Back = S 6° 12' 53.35" E
Ahead = S 17° 10' 07.20" W
Chord Bear = S 5° 28' 36.93" W

Curve Data
x-----x

Curve TRAIL-8
P.I. Station = 21+32.62 N 580,982.03 E 1,640,439.13
Delta = 25° 10' 01.22" (LT)
Degree = 7° 38' 21.97"
Tangent = 167.42
Length = 329.44
Radius = 750.00
External = 18.46
Long Chord = 326.79
Mid. Ord. = 18.02
P.C. Station = 19+65.21 N 581,141.99 E 1,640,488.55
P.T. Station = 22+94.64 N 580,816.24 E 1,640,462.43
C.C. = N 580,920.60 E 1,641,205.13
Back = S 17° 10' 07.20" W
Ahead = S 7° 59' 54.02" E
Chord Bear = S 4° 35' 06.59" W

Curve Data
x-----x

Curve TRAIL-9
P.I. Station = 23+23.41 N 580,787.75 E 1,640,466.43
Delta = 21° 42' 57.83" (RT)
Degree = 38° 11' 49.87"
Tangent = 28.77
Length = 56.85
Radius = 150.00
External = 2.73
Long Chord = 56.51
Mid. Ord. = 2.69
P.C. Station = 22+94.64 N 580,816.24 E 1,640,462.43
P.T. Station = 23+51.49 N 580,759.80 E 1,640,459.61
C.C. = N 580,795.37 E 1,640,313.89
Back = S 7° 59' 54.02" E
Ahead = S 13° 43' 03.82" W
Chord Bear = S 2° 51' 34.90" W

Curve Data
x-----x

Curve TRAIL-10
P.I. Station = 23+83.80 N 580,728.41 E 1,640,451.95
Delta = 24° 18' 41.23" (LT)
Degree = 38° 11' 49.87"
Tangent = 32.31
Length = 63.65
Radius = 150.00
External = 3.44
Long Chord = 63.17
Mid. Ord. = 3.36
P.C. Station = 23+51.49 N 580,759.80 E 1,640,459.61
P.T. Station = 24+15.14 N 580,696.65 E 1,640,457.89
C.C. = N 580,724.23 E 1,640,605.33
Back = S 13° 43' 03.82" W
Ahead = S 10° 35' 37.41" E
Chord Bear = S 1° 33' 43.21" W

Curve Data
x-----x

Curve TRAIL-11
P.I. Station = 24+63.56 N 580,649.06 E 1,640,466.79
Delta = 21° 55' 16.34" (RT)
Degree = 22° 55' 05.92"
Tangent = 48.42
Length = 95.65
Radius = 250.00
External = 4.65
Long Chord = 95.07
Mid. Ord. = 4.56
P.C. Station = 24+15.14 N 580,696.65 E 1,640,457.89
P.T. Station = 25+10.79 N 580,601.59 E 1,640,457.28
C.C. = N 580,650.69 E 1,640,212.15
Back = S 10° 35' 37.41" E
Ahead = S 11° 19' 38.93" W
Chord Bear = S 0° 22' 00.76" W

Curve Data
x-----x

Curve TRAIL-12
P.I. Station = 25+68.91 N 580,544.60 E 1,640,445.86
Delta = 60° 19' 36.24" (LT)
Degree = 57° 17' 44.81"
Tangent = 58.12
Length = 105.29
Radius = 100.00
External = 15.66
Long Chord = 100.49
Mid. Ord. = 13.54
P.C. Station = 25+10.79 N 580,601.59 E 1,640,457.28
P.T. Station = 26+16.08 N 580,506.48 E 1,640,489.72
C.C. = N 580,581.95 E 1,640,555.33
Back = S 11° 19' 38.93" W
Ahead = S 48° 59' 57.30" E
Chord Bear = S 18° 50' 09.18" E

Curve Data
x-----x

Curve TRAIL-13
P.I. Station = 26+41.63 N 580,489.71 E 1,640,509.01
Delta = 54° 08' 29.11" (RT)
Degree = 114° 35' 29.61"
Tangent = 25.55
Length = 47.25
Radius = 50.00
External = 6.15
Long Chord = 45.51
Mid. Ord. = 5.48
P.C. Station = 26+16.08 N 580,506.48 E 1,640,489.72
P.T. Station = 26+63.33 N 580,464.26 E 1,640,506.72
C.C. = N 580,468.74 E 1,640,456.92
Back = S 48° 59' 57.30" E
Ahead = S 5° 08' 31.80" W
Chord Bear = S 21° 55' 42.75" E

Course from PT TRAIL-13 to 2 S 5° 08' 31.80" W Dist 72.96

Point 2 N 580,391.60 E 1,640,500.18 Sta 27+36.28

Course from 2 to 3 S 5° 08' 31.80" W Dist 100.00

Point 3 N 580,292.00 E 1,640,491.22 Sta 28+36.28

Ending chain "TRAIL" description

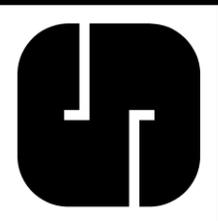
MARK	REVISION	DATE	BY
Engineer: TNJ	Checked By: ACF	Scale: 1" = 100'	Field Bk:
Technician: DSS	Date: 02/05/16	Project No: 1150979	Sheet G.2

YOUNGSTOWN TRAIL PHASE 1

SURVEY CONTROL

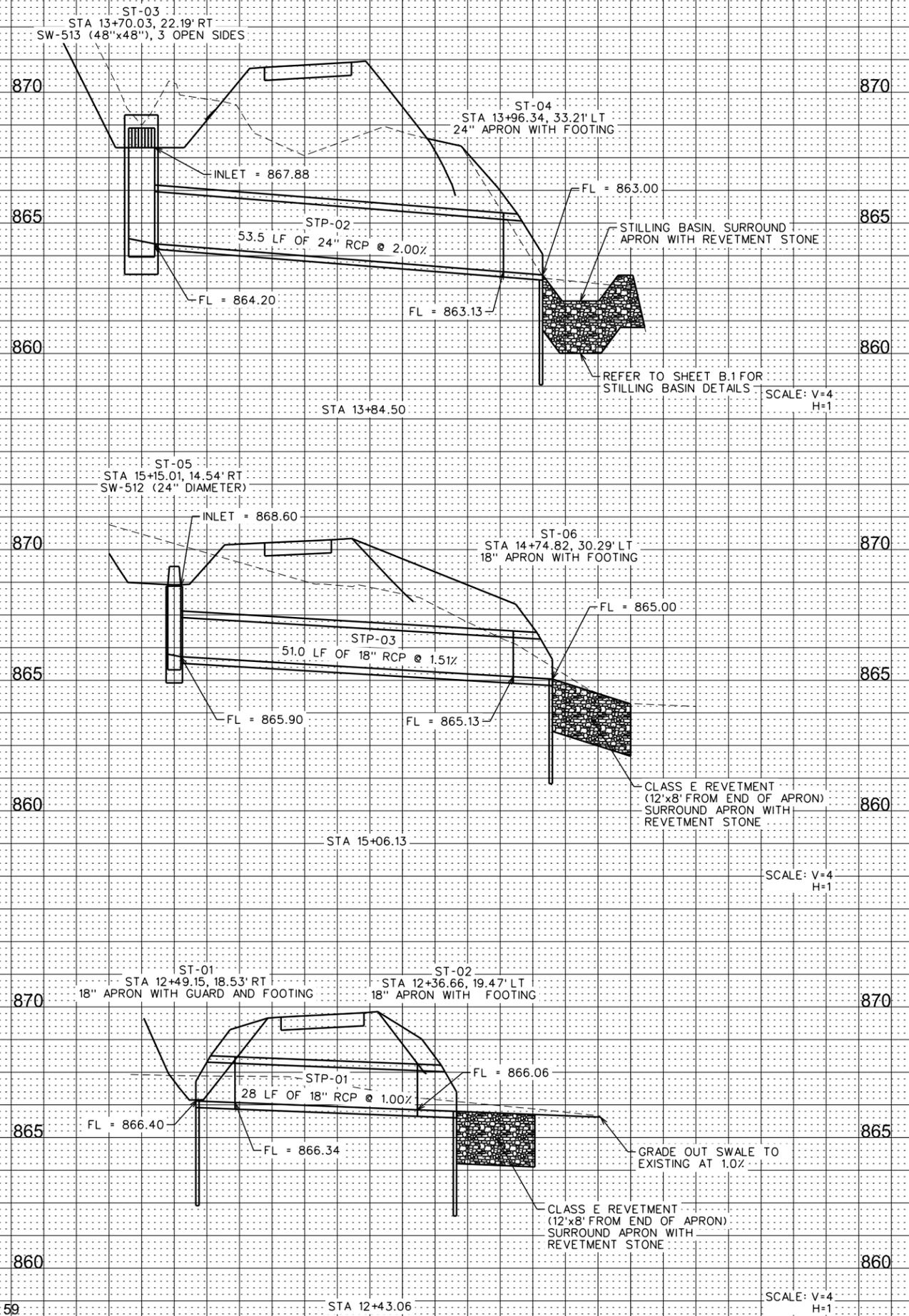
SNYDER & ASSOCIATES, INC.

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ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



Project No: 1150979

Sheet G.2



MARK	REVISION	DATE	BY
Engineer:	TNJ	Checked By:	ACB
Technician:	DSS	Date:	02/05/16
Project No:	1150979	Field No.:	Sheet
			M.1

YOUNGSTOWN TRAIL PHASE 1

STORM SEWER PROFILES

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POLK, IOWA

Project No: 1150979

Sheet M.1

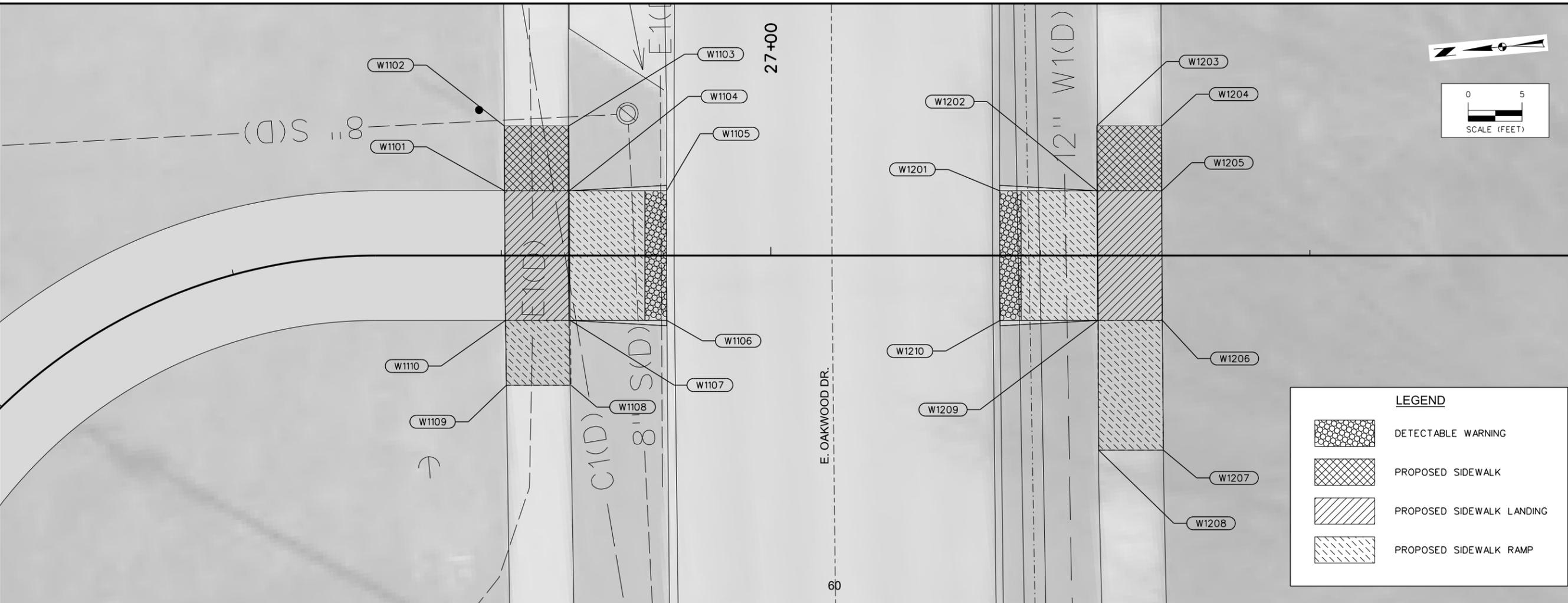
SIDEWALK COMPLIANCE

See 5 Sheets

113-10
10-15-13

* Does not include curb
Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.

Point to Point	Sidewalk Designation	Distance*	Δ Elevation	Slope	Acceptable Constructed Range	Staking Required on this Quadrant?	Measured Slope	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES			
										Point	Station	Offset	Elevation
1101	1102	Sidewalk Running Slope	6.00	-0.13	-2.2%	0.5% to 5.0%				1101	26+75.27	-6.00	904.82
1101	1104	Landing/Turning Space	6.00	-0.09	-1.5%	0.1% to 2.0%				1102	26+75.27	-12.00	904.69
1102	1103	Match Existing Cross Slope	6.00	-0.14	-2.3%	Match Existing				1103	26+81.27	-12.00	904.55
1103	1104	Sidewalk Running Slope	6.00	0.18	3.0%	0.5% to 5.0%				1104	26+81.30	-6.00	904.73
1104	1105	Ramp Running Slope	9.00	-0.71	-7.9%	0.5% to 8.3%	Yes		Proposed slope is maximum allowed	1105	26+90.34	-6.00	904.02
1104	1107	Landing/Turning Space	12.00	0.18	1.5%	0.1% to 2.0%				1106	26+90.39	6.00	904.28
1105	1106	Match Existing Cross Slope	12.00	0.26	2.2%	Match Existing				1107	26+81.39	6.00	904.91
1106	1107	Ramp Running Slope	9.00	0.63	7.0%	0.5% to 8.3%				1108	26+81.47	12.00	905.17
1107	1108	Ramp Running Slope	6.00	0.26	4.3%	0.5% to 8.3%				1109	26+75.47	12.00	905.34
1107	1110	Landing/Turning Space	6.00	0.09	1.5%	0.1% to 2.0%				1110	26+75.39	6.00	905.00
1108	1109	Match Existing Cross Slope	6.00	0.17	2.8%	Match Existing							
1109	1110	Ramp Running Slope	6.00	-0.34	-5.7%	0.5% to 8.3%							
1110	1101	Landing/Turning Space	12.00	-0.18	-1.5%	0.1% to 2.0%							
1201	1202	Ramp Running Slope	9.00	0.71	7.9%	0.5% to 8.3%	Yes		Proposed slope is maximum allowed	1201	27+21.22	-6.00	903.91
1202	1203	Sidewalk Running Slope	6.00	-0.02	-0.3%	0.5% to 5.0%				1202	27+30.26	-6.00	904.62
1202	1205	Landing/Turning Space	6.00	0.09	1.5%	0.1% to 2.0%				1203	27+30.23	-12.00	904.60
1202	1209	Landing/Turning Space	12.00	0.18	1.5%	0.1% to 2.0%				1204	27+36.23	-12.00	904.61
1203	1204	Sidewalk Running Slope	6.00	0.01	0.2%	0.5% to 5.0%				1205	27+36.26	-6.00	904.71
1204	1205	Sidewalk Running Slope	6.00	0.10	1.7%	0.5% to 5.0%				1206	27+36.32	6.00	904.89
1205	1206	Landing/Turning Space	12.00	0.18	1.5%	0.1% to 2.0%				1207	27+36.42	18.00	905.37
1206	1207	Ramp Running Slope	12.00	0.48	4.0%	0.5% to 8.3%				1208	27+30.42	18.00	905.44
1206	1209	Landing/Turning Space	6.00	-0.09	-1.5%	0.1% to 2.0%				1209	27+30.32	6.00	904.80
1207	1208	Match Existing Cross Slope	6.00	0.07	1.2%	Match Existing				1210	27+21.27	6.00	904.19
1208	1209	Ramp Running Slope	12.00	-0.64	-5.3%	0.5% to 8.3%							
1209	1210	Ramp Running Slope	9.00	-0.61	-6.8%	0.5% to 8.3%							
1210	1201	Match Existing Cross Slope	12.00	-0.28	-2.3%	Match Existing							



MARK	REVISION	DATE	BY
Engineer: TNJ	Checked By: ACB	Scale: 1"=5'	
Technician: DSS	Date: 02/05/16	Field Bk:	Pg:
Project No: 1150979		Sheet	S.1

POLK, IOWA

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YOUNGSTOWN TRAIL PHASE 1

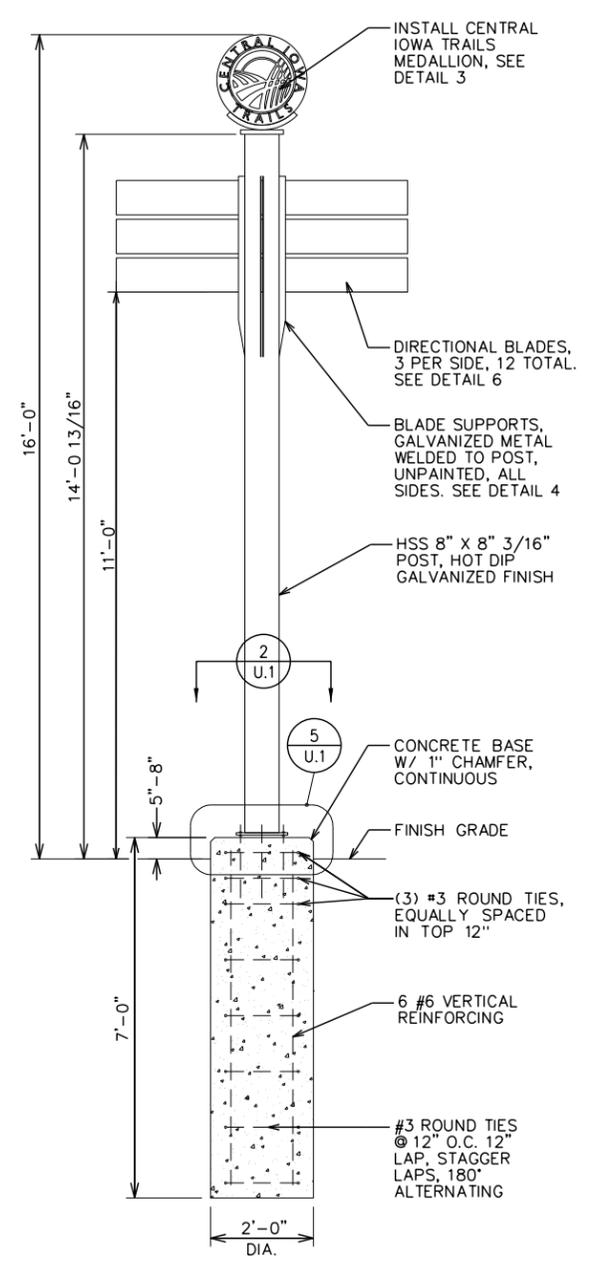
SIDEWALK RAMP LAYOUT

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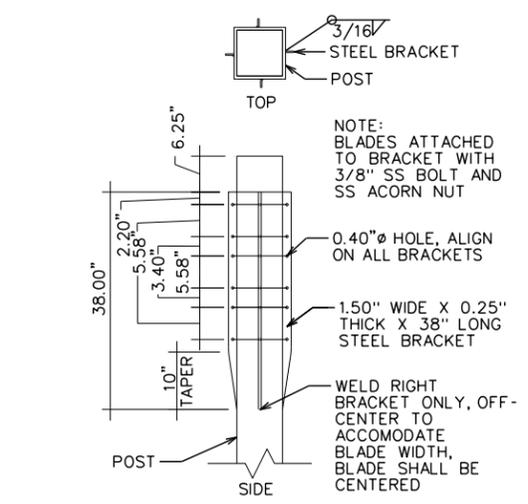
Project No: 1150979

Sheet S.1

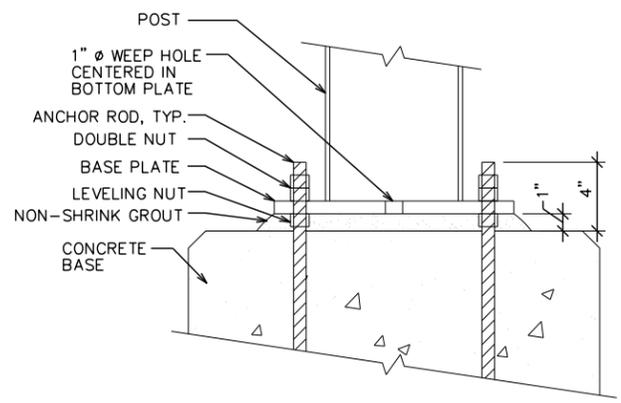
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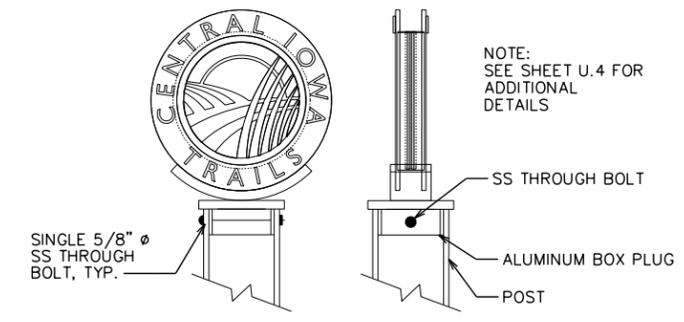
1 SECTION/ELEV.: DIRECTIONAL STANDARD
U.1 NOT TO SCALE



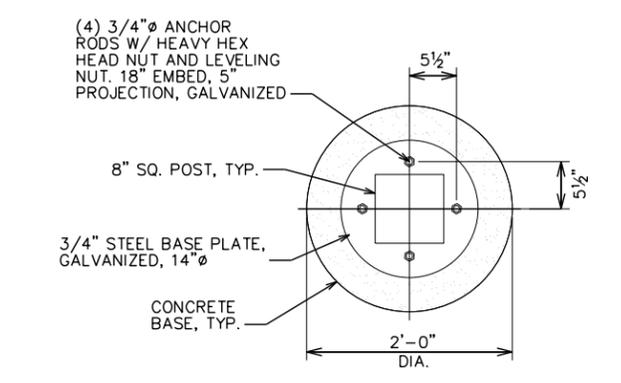
4 ELEV.: BRACKET AND BLADE ATTACHMENT
U.1 NOT TO SCALE



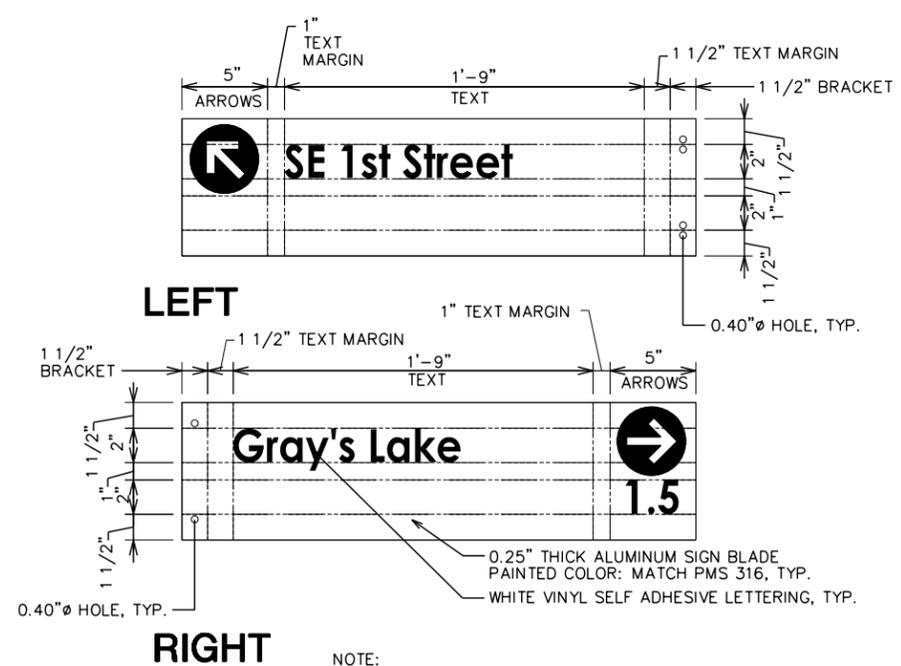
5 SECTION: BASE PLATE LEVELING DETAIL
U.1 NOT TO SCALE



3 MEDALLION CONNECTION DETAIL
U.1 NOT TO SCALE



2 PLAN: DIRECTIONAL STANDARD BASE PLATE
U.1 NOT TO SCALE



6 ELEV.: DIRECTIONAL STANDARD SIGN BLADE
U.1 NOT TO SCALE

STEEL:
 1) SHAPES & PLATES— ASTM A36
 2) ANCHOR RODS— ASTM F1554 GRADE 36 HEADED ANCHOR ROD HOT DIP GALVANIZED
 3) ALL STEEL (UNO) TO BE HOT DIP GALVANIZED
 4) TUBE— ASTM A500
 5) WEATHERING STEEL— ASTM A588
GALVANIZING: ARTICLE 4100.7 OF THE IDOT SPECIFICATIONS
TAPE: 45MM BLACK, RED RELEASE LINED, VERY COMFORMABLE DOUBLE-COATED MODIFIED ACRYLIC FOAM TAPE
CONCRETE:
 1) 4000 PSI— 28 DAY COMPRESSIVE STRENGTH (C-4 PER IDOT SPEC.)
 2) REINFORCING— ASTM A615, GRADE 60
 3) 6% ± 1% AIR-ENTRAINING
 4) FORM ALL VERTICAL EXPOSED SURFACES
 5) MOIST CURE FOR 3 DAYS (MINIMUM)—OR CLEAR CURING COMPOUND
GROUT: NON-SHRINK, NON-METALLIC, NATURAL AGGREGATE, CONSTRUCTION GROUT WITH MINIMUM DRY-PACK COMPRESSIVE STRENGTH OF 7000 PSI AT 3-DAYS COMPLYING WITH ASTM C1107
SOIL CONDITIONS: MINIMUM NET ALLOWABLE BEARNG PRESSURE OF SUPPORTING SOIL SHALL BE 1500 PSF.
PAINT: POLYACRYLIC PAINT ASTM D5098-05A SUBMIT SAMPLE OF EACH PAINT COLOR FOR APPROVAL

DATE	BY	REVISION	SCALE	FIELD NO.	SHEET
			AS SHOWN		U.1
ENGINEER	CHECKED BY	DATE	PROJECT NO.		
TNJ	ACB	02/05/16	1150979		
TECHNICIAN	DSS				

YOUNGSTOWN TRAIL PHASE 1

CENTRAL IOWA TRAIL SIGN DETAILS

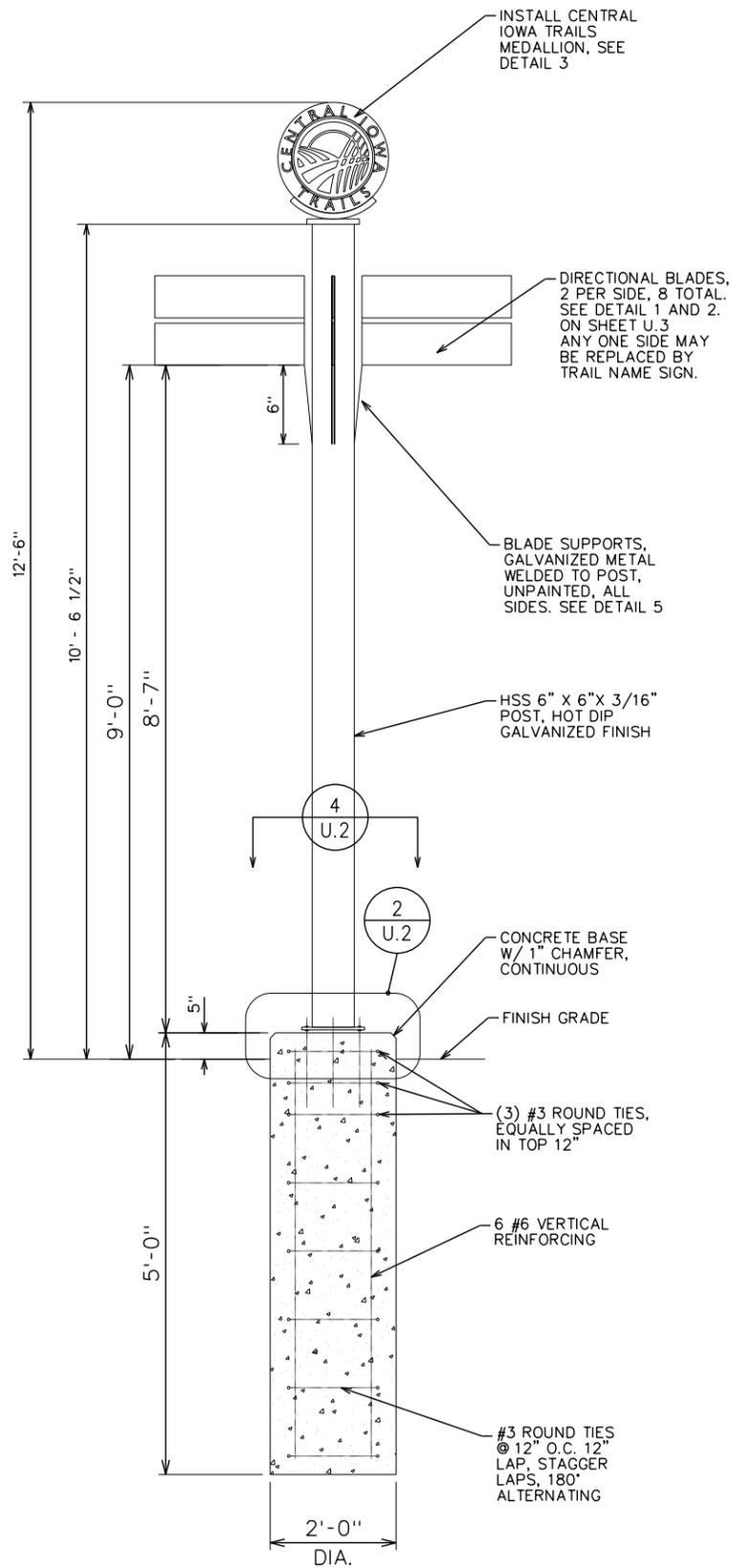
SNYDER & ASSOCIATES, INC.

POLK, IOWA

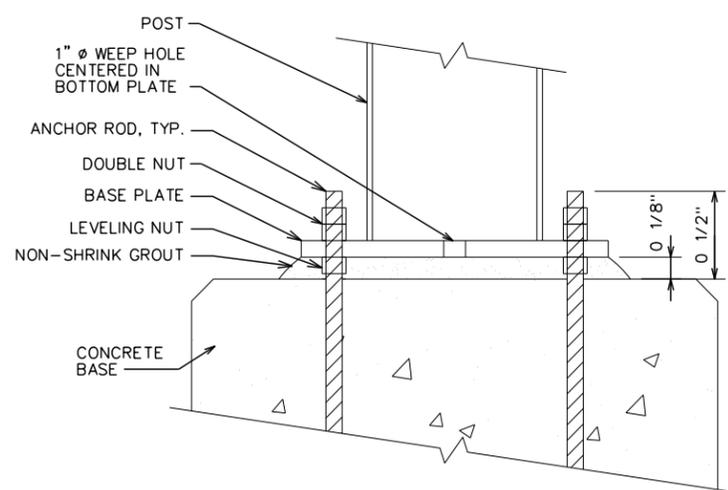
2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
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Project No: 1150979	Sheet U.1
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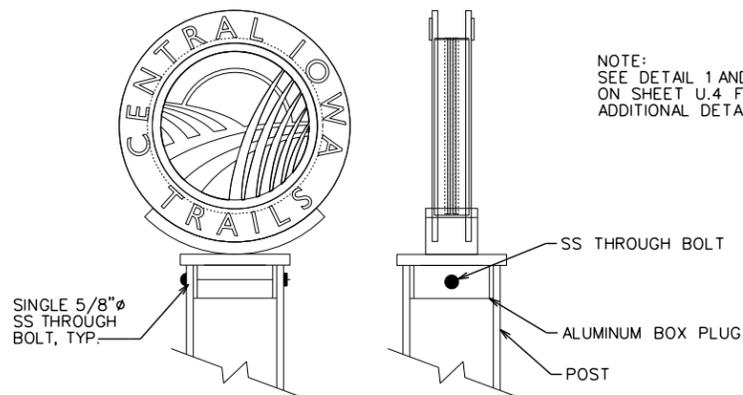
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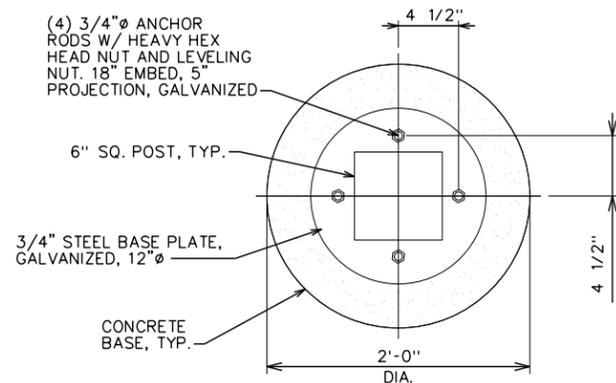
1 U.2 DIRECTIONAL STANDARD - 2 BLADE OPTION
NOT TO SCALE



2 U.2 SECTION: BASE PLATE LEVELING DETAIL
NOT TO SCALE

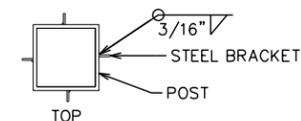


3 U.2 MEDALLION CONNECTION DETAIL
NOT TO SCALE

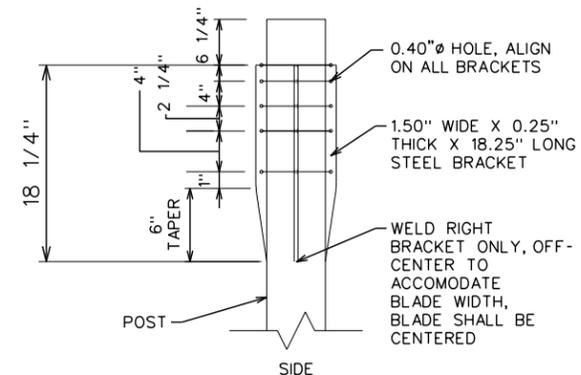


4 U.2 PLAN: DIRECTIONAL STANDARD BASE PLATE - 2 BLADE OPTION
NOT TO SCALE

STEEL:
 1) SHAPES & PLATES- ASTM A36
 2) ANCHOR RODS- ASTM F1554 GRADE 36 HEADED ANCHOR ROD HOT DIP GALVANIZED
 3) ALL STEEL (UNO) TO BE HOT DIP GALVANIZED
 4) TUBE- ASTM A500
 5) WEATHERING STEEL- ASTM A588
GALVANIZING: ARTICLE 4100.7 OF THE IDOT SPECIFICATIONS
TAPE: 45MM BLACK, RED RELEASE LINED, VERY COMFORMABLE DOUBLE-COATED MODIFIED ACRYLIC FOAM TAPE
CONCRETE:
 1) 4000 PSI- 28 DAY COMPRESSIVE STRENGTH (C-4 PER IDOT SPEC.)
 2) REINFORCING- ASTM A615, GRADE 60
 3) 6% ± 1% AIR-ENTRAINING
 4) FORM ALL VERTICAL EXPOSED SURFACES
 5) MOIST CURE FOR 3 DAYS (MINIMUM)-OR CLEAR CURING COMPOUND
GROUT: NON-SHRINK, NON-METALLIC, NATURAL AGGREGATE, CONSTRUCTION GROUT WITH MINIMUM DRY-PACK COMPRESSIVE STRENGTH OF 7000 PSI AT 3-DAYS COMPLYING WITH ASTM C1107
SOIL CONDITIONS: MINIMUM NET ALLOWABLE BEARING PRESSURE OF SUPPORTING SOIL SHALL BE 1500 PSF.
PAINT: POLYACRYLIC PAINT ASTM D5098-05A SUBMIT SAMPLE OF EACH PAINT COLOR FOR APPROVAL



NOTE:
 BLADES ATTACHED TO BRACKET WITH 3/8" SS BOLT AND SS ACORN NUT



5 U.2 ELEV: BRACKET AND BLADE ATTACHMENT - 2 BLADE OPTION
NOT TO SCALE

YOUNGSTOWN TRAIL PHASE 1

CENTRAL IOWA TRAIL SIGN DETAILS

SNYDER & ASSOCIATES, INC.

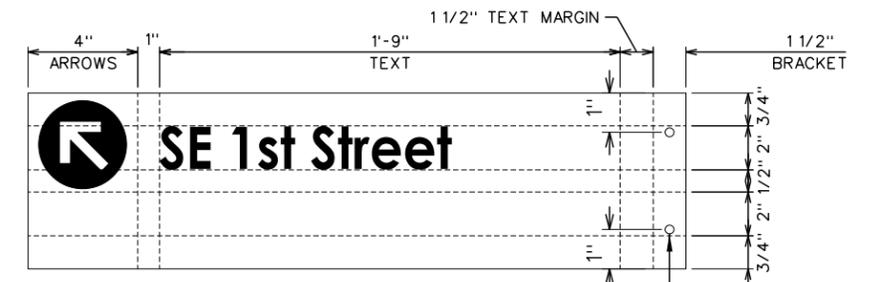
MARK	REVISION	DATE	BY
Engineer: TNJ	Checked By: ACB	Scale: AS SHOWN	Field Bk:
Technician: DSS	Date: 02/05/16	Project No: 1150979	Sheet U.2

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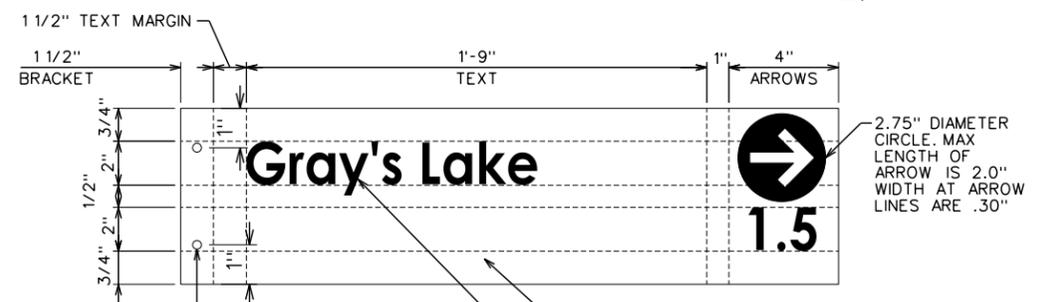


ARTWORK DONE BY OTHERS

1 U.3 ELEV.: Two-Sided Trail Name Sign Blade - 2 Blade Option
 NOT TO SCALE



LEFT



RIGHT

- NOTE:
 1. 2" CAP HEIGHT = TEXT SIZE 212pt ON 224pt LEADING
 TYPESTYLE: GARRISON SANS
 2. TEXT IS SAMPLE. TEXT TO BE PROVIDED BY OWNER.

2 U.3 ELEV.: TWO-SIDED DIRECTIONAL STANDARD SIGN BLADE - 2 BLADE OPTION
 NOT TO SCALE

YOUNGSTOWN TRAIL PHASE 1

CENTRAL IOWA TRAIL SIGN DETAILS

SNYDER & ASSOCIATES, INC. I

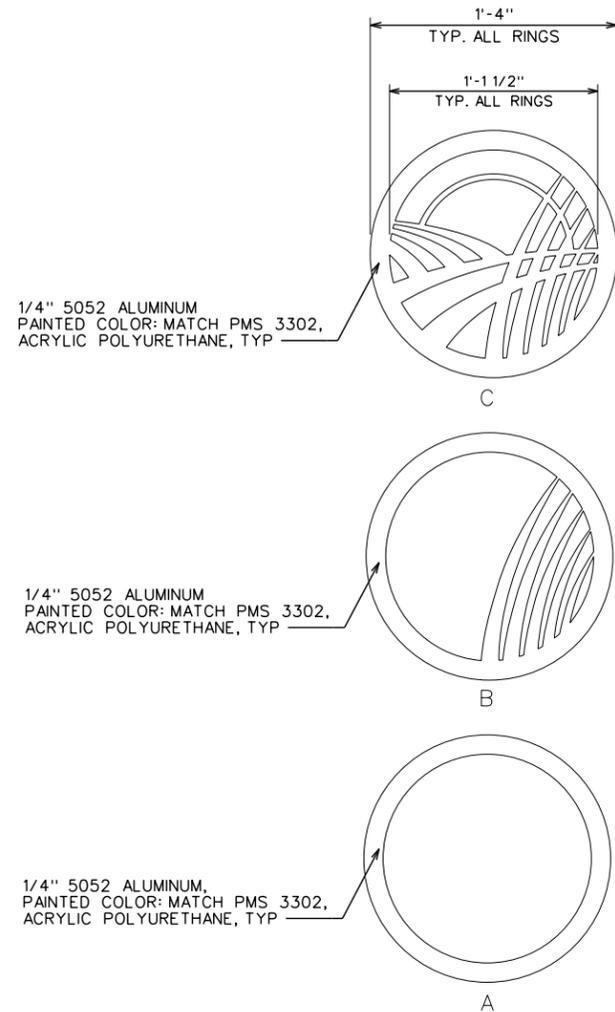
POLK, IOWA

2727 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

MARK	REVISION	DATE	BY
Engineer: TNJ	Checked By: ACB	Scale: AS SHOWN	
Technician: DSS	Date: 02/05/16	Field Bk:	Pg:
Project No: 1150979			Sheet U.3



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1/4" 5052 ALUMINUM
PAINTED COLOR: MATCH PMS 3302,
ACRYLIC POLYURETHANE, TYP

1/4" 5052 ALUMINUM
PAINTED COLOR: MATCH PMS 3302,
ACRYLIC POLYURETHANE, TYP

1/4" 5052 ALUMINUM,
PAINTED COLOR: MATCH PMS 3302,
ACRYLIC POLYURETHANE, TYP

1/4" 5052 ALUMINUM CYLINDRICAL HOUSING TO
ENCOMPASS MEDALLION DISCS,
PAINTED COLOR: TO MATCH MATTHEWS
PAINTS 41342SP "BRUSHED ALUMINUM"
ACRYLIC POLYURETHANE, TYP

1/4" 5052 ALUMINUM LETTERS,
PAINTED COLOR: TO MATCH
MATTHEWS PAINTS 41342SP
"BRUSHED ALUMINUM"
ACRYLIC POLYURETHANE, TYP

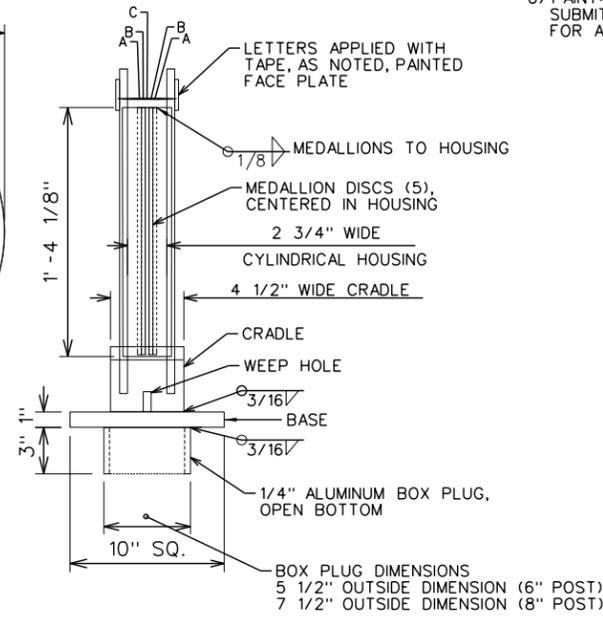
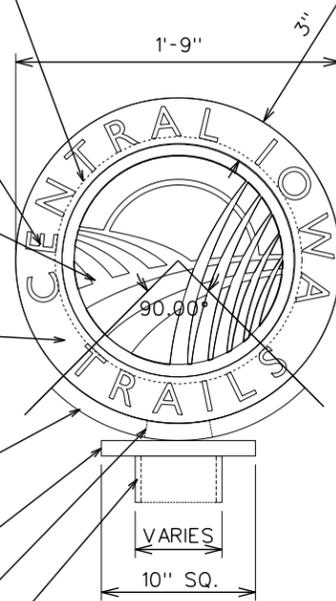
3/8" 5052 ALUMINUM FACE PLATE,
PAINTED COLOR: TO MATCH
MATTHEWS PAINTS 41342SP
"BRUSHED ALUMINUM"
ACRYLIC POLYURETHANE, TYP

1 1/2" 5052 ALUMINUM CRADLE,
PAINTED COLOR: MATCH PMS 316
ACRYLIC POLYURETHANE, TYP

1" 5052 ALUMINUM BASE,
PAINTED COLOR: MATCH PMS 316
ACRYLIC POLYURETHANE, TYP

DRILL WEEP HOLE IN
CRADLE, BOTH SIDES

1/4" 5052 ALUMINUM BOX PLUG,
PAINTED COLOR: MATCH PMS 316
ACRYLIC POLYURETHANE, TYP



1 MEDALLION DISCS
U.4 NOT TO SCALE

2 MEDALLION
U.4 NOT TO SCALE

NOTES:

- 1) SEE DETAIL 1 FOR DISCS A, B AND C
- 2) 2" CAP HEIGHT = TEXT SIZE 212pt
ON 224pt LEADING
TYPESTYLE: GARRISON SANS
- 3) CONTACT OWNER TO OBTAIN VECTOR
GRAPHICS FOR DESIGN
- 4) ALUMINUM - ASTM 5052
- 5) TAPE: 45MM BLACK, RED RELEASE LINED,
VERY COMFORMABLE DOUBLE-COATED
MODIFIED ACRYLIC FOAM TAPE
- 6) PAINT: POLYACRYLIC PAINT ASTM D5098-05A
SUBMIT SAMPLE OF EACH PAINT COLOR
FOR APPROVAL

YOUNGSTOWN TRAIL PHASE 1

CENTRAL IOWA TRAIL SIGN DETAILS

SNYDER & ASSOCIATES, INC. I

POLK, IOWA

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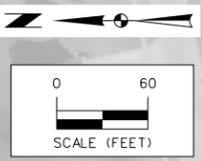
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Engineer: TNJ	Checked By: ACB	Scale: AS SHOWN	Field Bk:
Technician: DSS	Date: 02/05/16	Project No: 1150979	Sheet U.4

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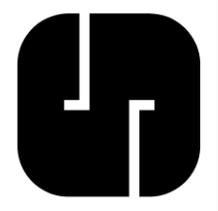


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SEE SHEET U.1

INSTALL SIGN (FIELD LOCATE)
SEE SHEET U.2



YOUNGSTOWN TRAIL PHASE 1
TRAIL MARKER SIGNAGE PLAN
SNYDER & ASSOCIATES, INC. I

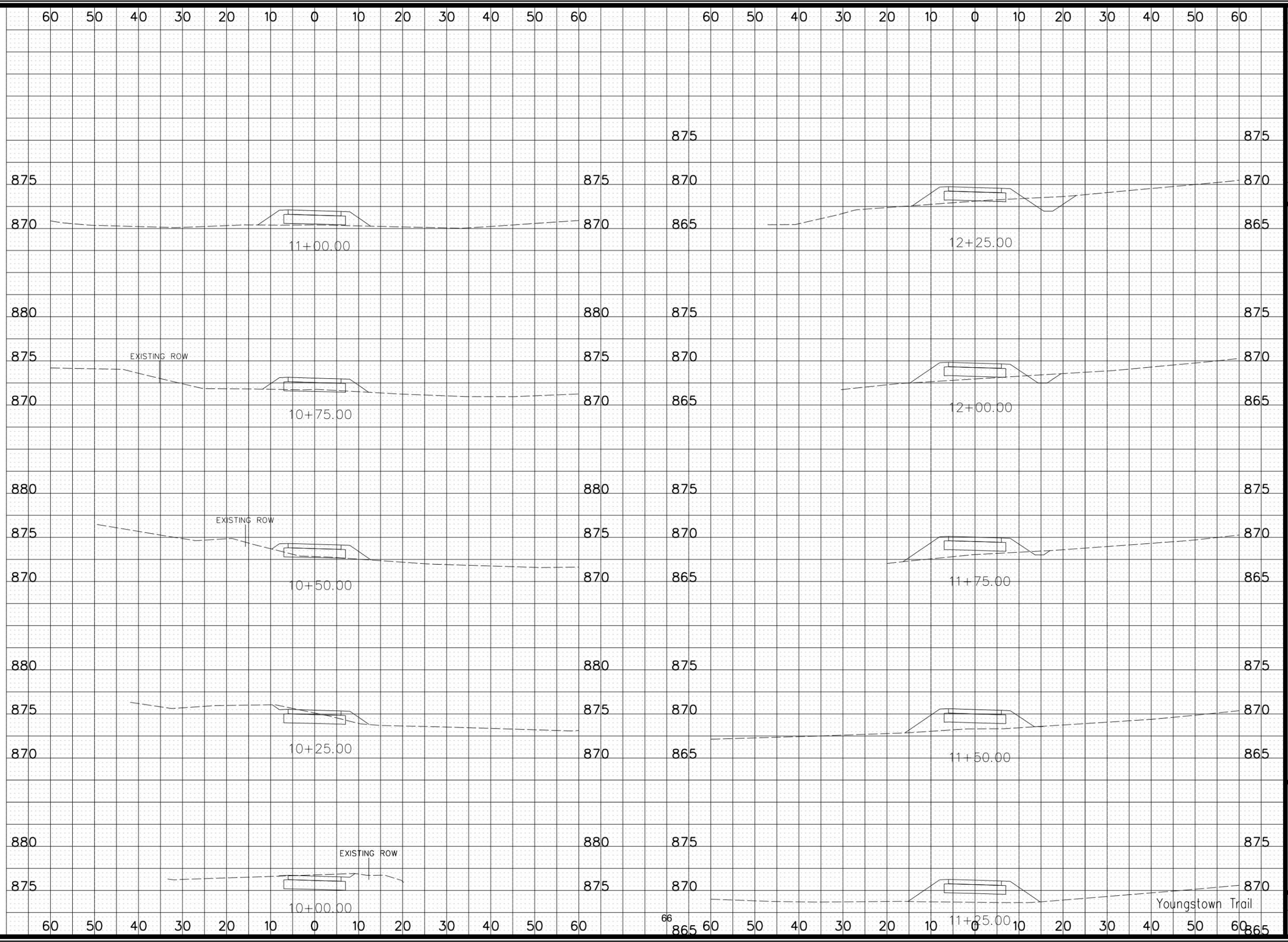


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Sheet U.5

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Technician: DSS	Date: 02/05/16	Field Bk:	Pjt:
Project No: 1150979		Sheet	U.5

POLK, IOWA
2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

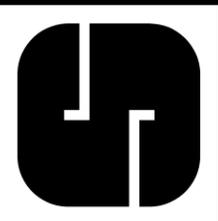
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DSS	Date:	02/3/16	

Project No: 1150979
Sheet W.1

YOUNGSTOWN TRAIL PHASE 1
CROSS SECTIONS
SNYDER & ASSOCIATES, INC.
POLK, IOWA
2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snider-associates.com



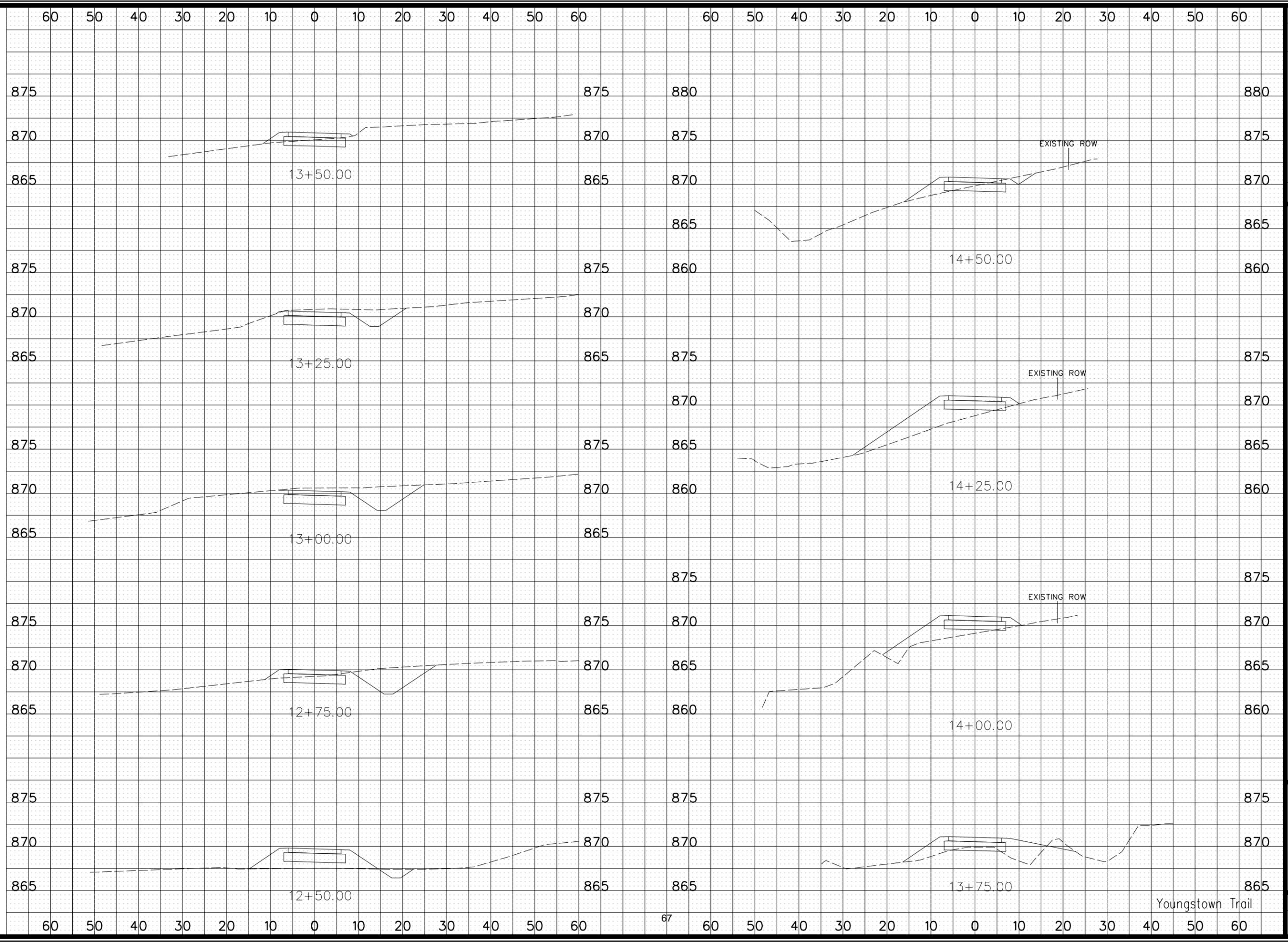
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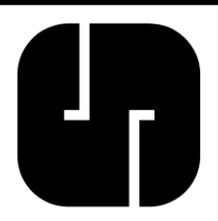
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Technician: DSS	Date: 02/3/16	Field Bk:	Pg:
Project No: 1150979			Sheet W.2

YOUNGSTOWN TRAIL PHASE 1
CROSS SECTIONS
SNYDER & ASSOCIATES, INC.
 POLK, IOWA
 2727 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com



Project No: 1150979
 Sheet W.2

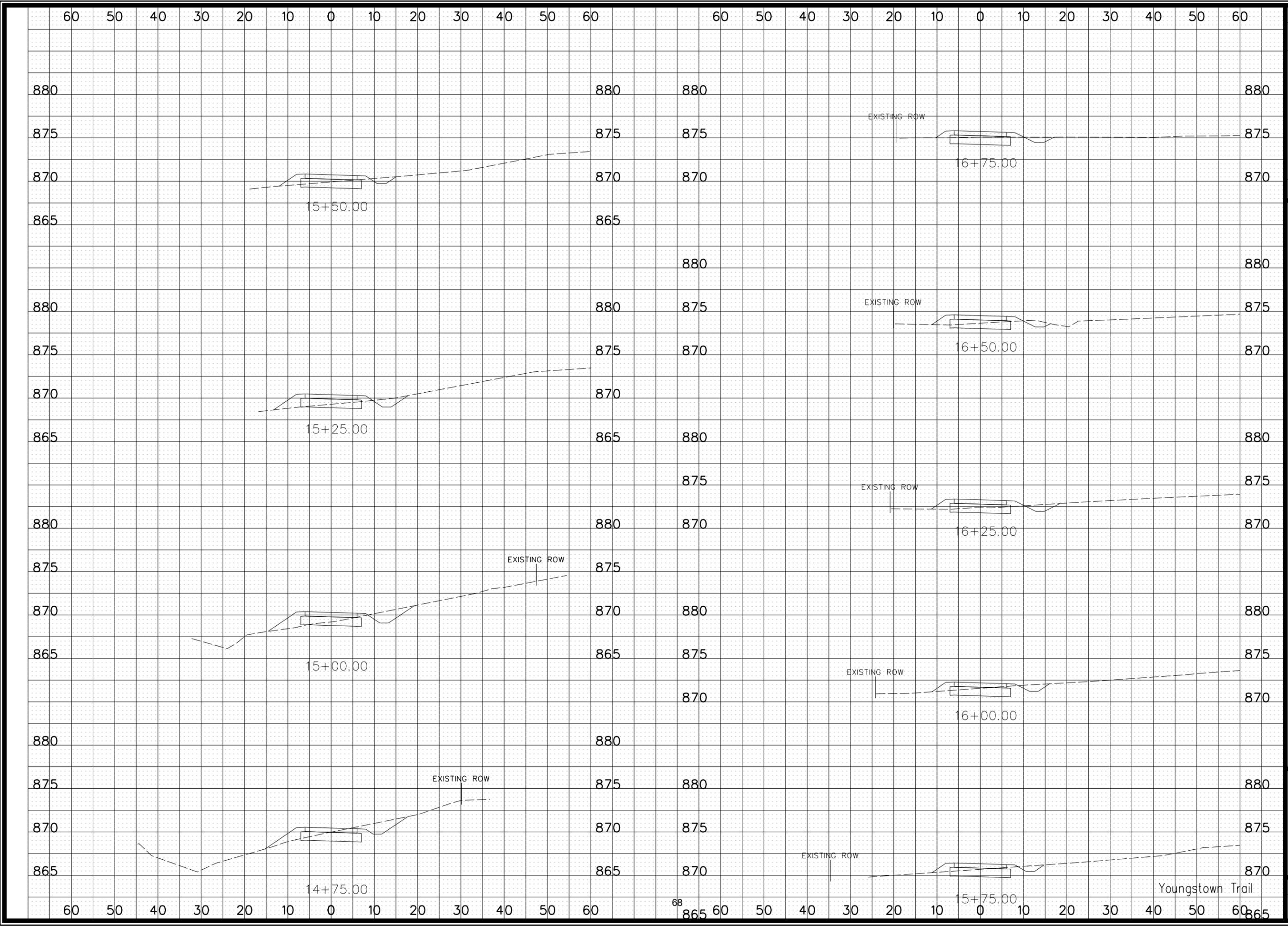
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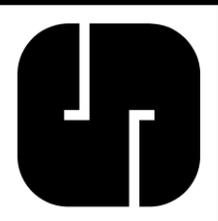
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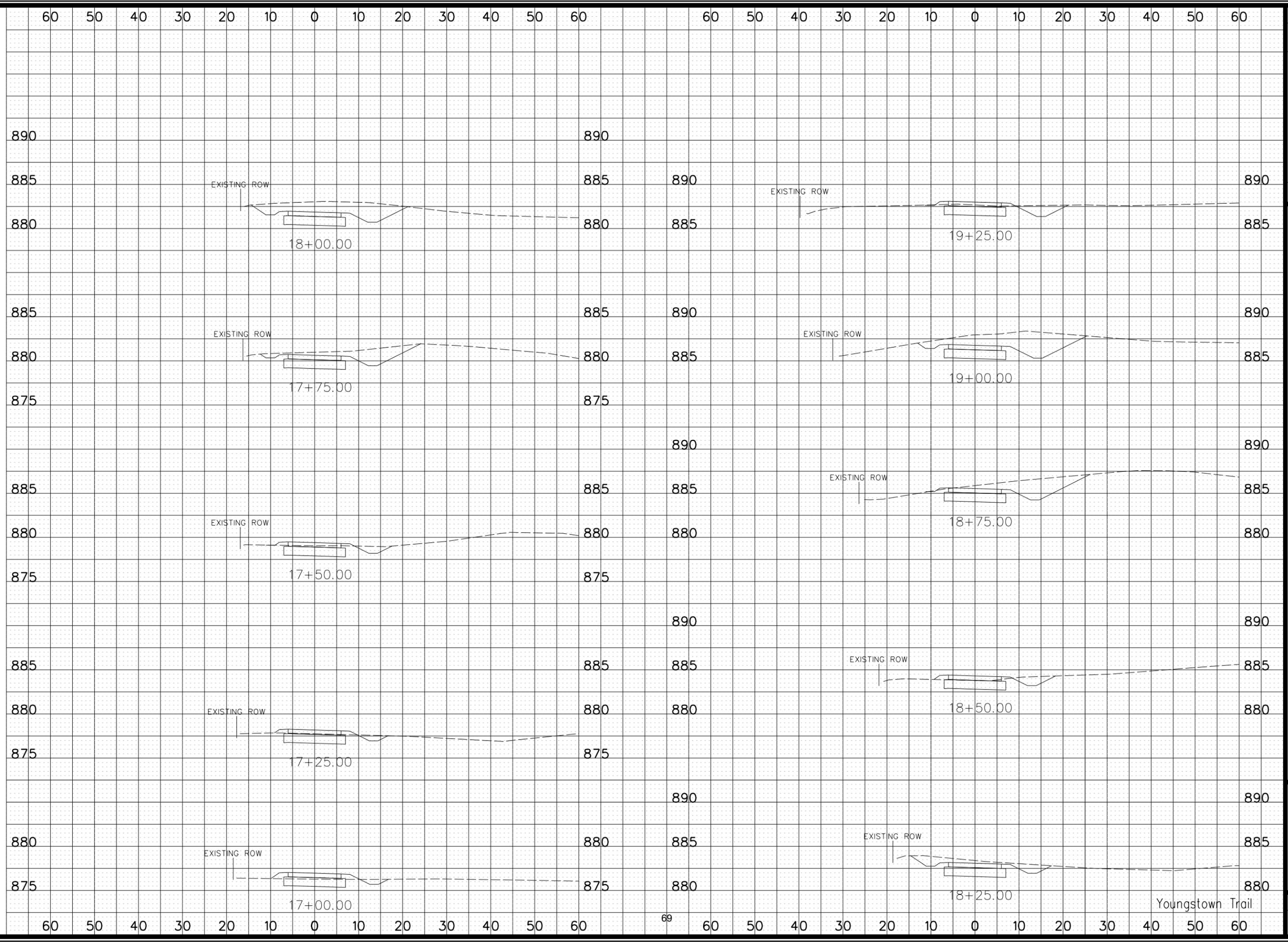
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Technician: DSS	Date: 02/3/16	Field Bk:	
Project No: 1150979			Sheet W.3

YOUNGSTOWN TRAIL PHASE 1
CROSS SECTIONS
SNYDER & ASSOCIATES, INC.
 POLK, IOWA
 2727 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com



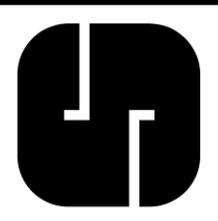
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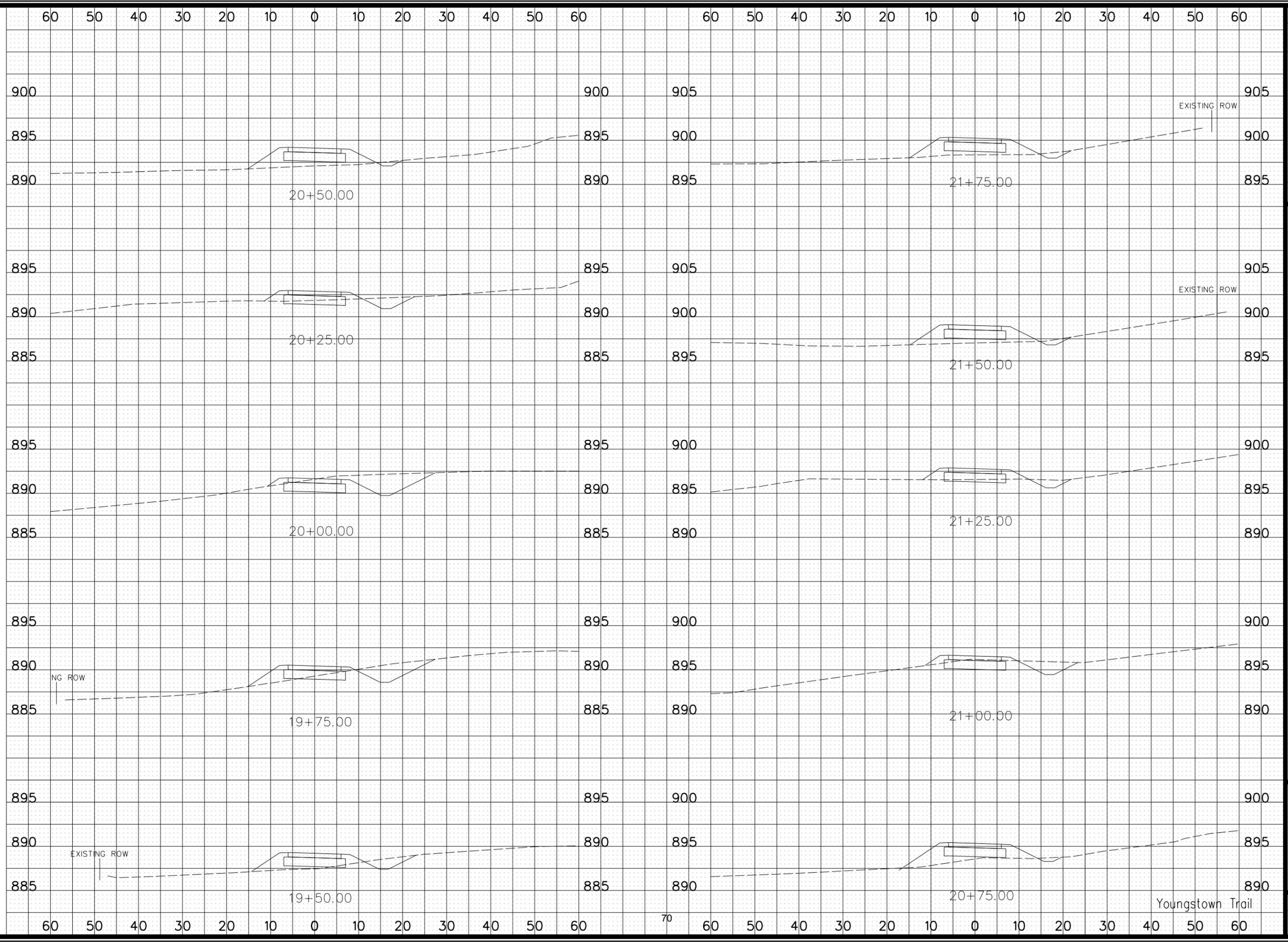
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YOUNGSTOWN TRAIL PHASE 1
CROSS SECTIONS
SNYDER & ASSOCIATES, INC.
POLK, IOWA
2727 S.W. SNYDER BLVD.
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515-964-2020 | www.snider-associates.com



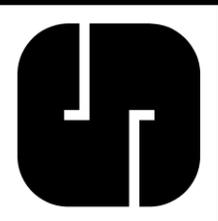
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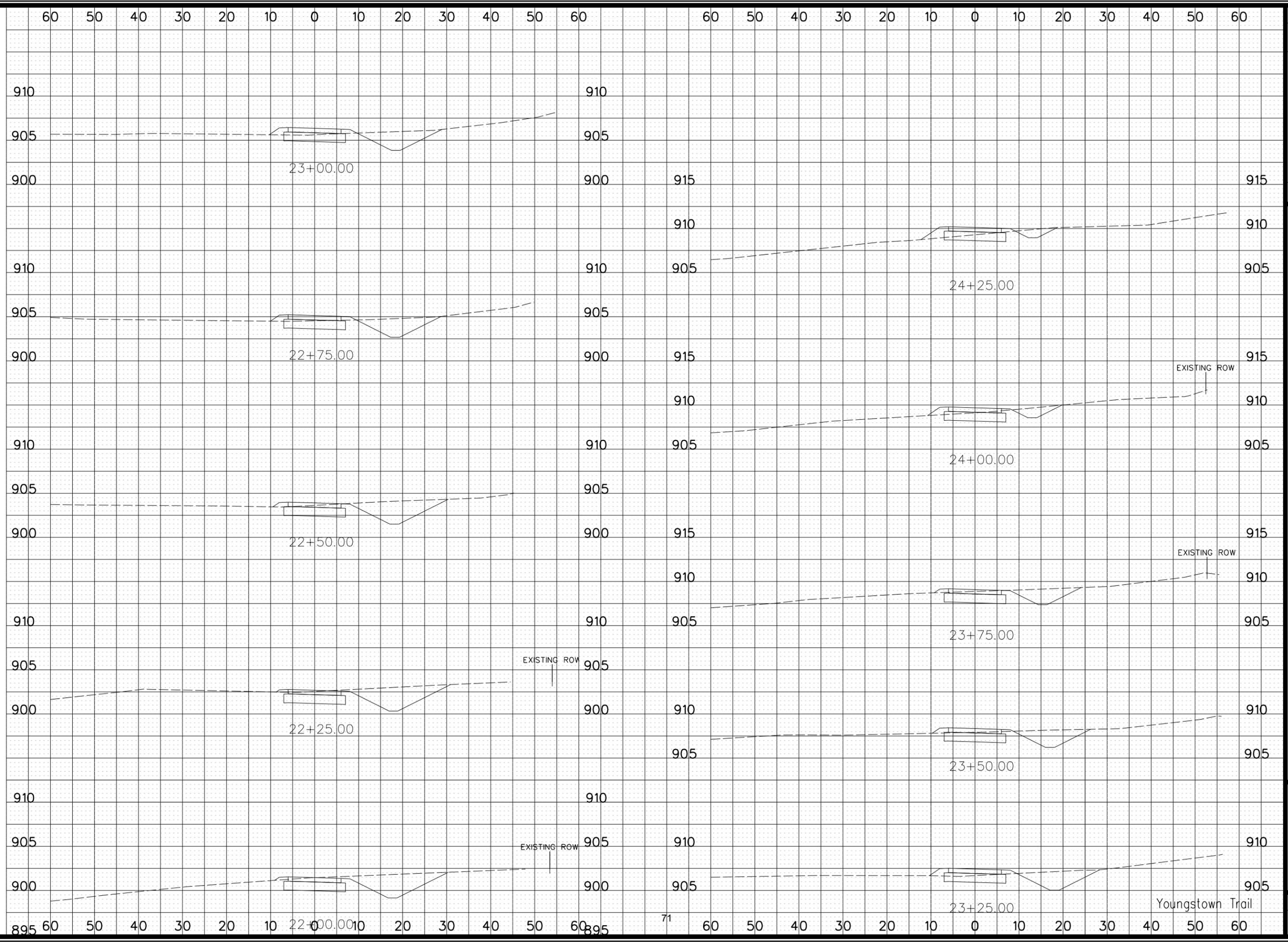
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YOUNGSTOWN TRAIL PHASE 1
CROSS SECTIONS
SNYDER & ASSOCIATES, INC.
POLK, IOWA
2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



Project No: 1150979
Sheet W.5

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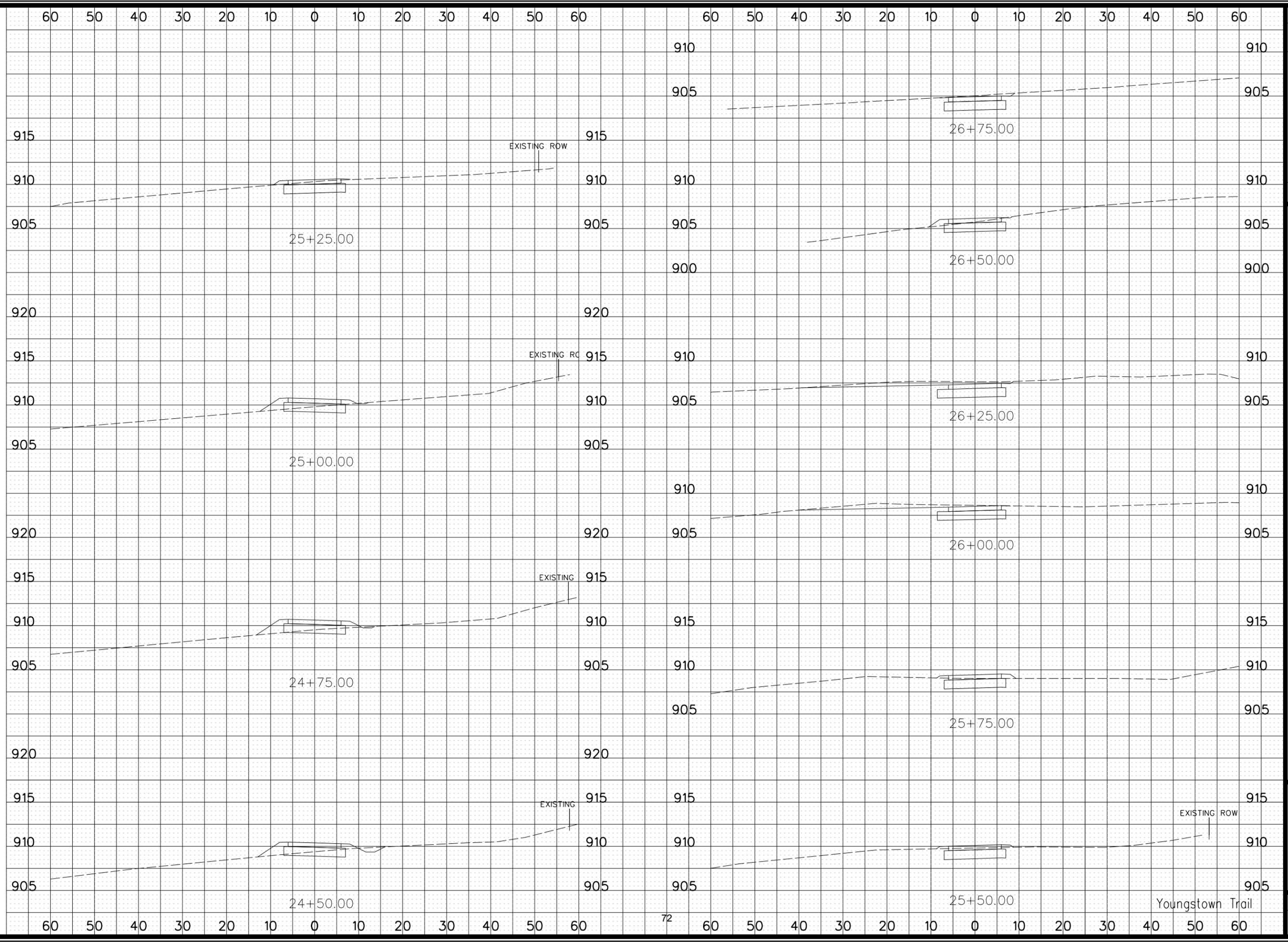
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Project No: 1150979			Sheet W.6

YOUNGSTOWN TRAIL PHASE 1
CROSS SECTIONS
SNYDER & ASSOCIATES, INC.
 POLK, IOWA
 2727 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

Project No: 1150979

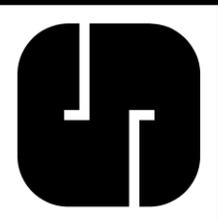
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Project No: 1150979			Sheet W.7

YOUNGSTOWN TRAIL PHASE 1
CROSS SECTIONS
SNYDER & ASSOCIATES, INC.
POLK, IOWA
2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



Project No: 1150979
Sheet W.7

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 09, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	MADELINE STURMS, AICP, CPM SENIOR PLANNER
SUBJECT:	APPLICATION TO IOWA STATE UNIVERSITY COMMUNITY DESIGN LAB – AGRICULTURAL URBANISM TOOLKIT

BACKGROUND:

The Iowa State University Community Design Lab has a grant program available that supports and promotes holistic food systems through public design that engages community leaders in an effort to collaborate and connect the unique assets of the community. The Agricultural Urbanism Toolkit identifies tactics based on existing conditions and community feedback to promote local food system revitalization in communities while also creating multi-functional public spaces. Tactics can include a variety of topics such as gardens, edible landscapes, restaurants, farmers markets, food trucks, shared use kitchens, and food system policies. The competitive grant program is a three year process to build community capacity, identify tactics, design development and implementation. ISU Community Design Lab staff brings professional expertise and partners to work with a City identified leadership team. Attached is a resolution that supports an application from the City to the grant program to apply for the Agricultural Urbanism Toolkit.

ANALYSIS/IMPACT:

The recently completed Comprehensive Plan identified goals related to health that could increase quality of life, provide economic development opportunities, and enhance the character of the community. The Agricultural Urbanism Toolkit engages community input to find tactics which more most feasible in the community to create a healthier and more sustainable local and regional environment.

ALTERNATIVES:

Not approve the resolution. However, this would forgo an opportunity at grant funding.

FINANCIAL CONSIDERATIONS:

The City has included initial budgeted grant matching dollars in the proposed budget.

RECOMMENDATION:

Consider approval of the attached resolution supporting an application to the Iowa State University Community Design Lab for the Agriculture Urbanism Toolkit.

RESOLUTION #020916-07

A RESOLUTION SUPPORTING A GRANT APPLICATION FOR ASSISTANCE FROM THE IOWA STATE UNIVERSITY COMMUNITY DESIGN LAB FOR THE AGRICULTURAL URBANISM TOOLKIT

WHEREAS, the City of Pleasant Hill recently completed an updated Comprehensive Plan that identified goals related to community sustainability and the environment to create a healthier more sustainable local and regional environment through policies, collaboration and actions, and

WHEREAS, the Comprehensive Plan identified an objective to modify development regulations to support healthy community initiatives such as urban agriculture, community gardens, bicycle and pedestrian mobility, and

WHEREAS, the Agricultural Urbanism Toolkit is a grant opportunity available for local jurisdictions to create holistic food systems; and

WHEREAS, the program is administered by the Iowa State University Community Design Lab which prioritizes and ranks all project applications; and

WHEREAS, if awarded, the program would provide assistance for a three year process beginning in May 2016; and

WHEREAS, the City of Pleasant Hill wishes to apply to the program to identify agricultural urbanism tactics to implement throughout the community and create a healthier more sustainable local and regional environment; and

WHEREAS, the City of Pleasant Hill will provide matching monies as required by the program in the amount of \$5,000 annually for up to three years, and

THEREFORE, BE IT RESOLVED, that the City Council of Pleasant Hill, Iowa, in Polk County, Iowa, does hereby support an application for the Agricultural Urbanism Toolkit.

ADOPTED this 9th day of February, 2016.

Sara Kurovski, Mayor

ATTEST:

Dena Spooner, City Clerk/Finance Director

AGRICULTURAL URBANISM TOOLKIT

STRATEGY: The Agricultural Urbanism Toolkit is a three year **process** that promotes public interest design through engagement with community leaders, leading to a holistic food system. Our process involves community **coalition** building, agricultural urbanism and place-based **research**, and **design** technical assistance. We use **Agricultural Urbanism Toolkit** to promote local food system revitalization in communities.

The Toolkit has the potential to **improve food security, create resilient communities, promote social equity, increase environmental diversity,** and **generate economic development** for individuals and communities.

AGRICULTURAL URBANISM TACTICS

include various opportunities to improve **local food system** accessibility:

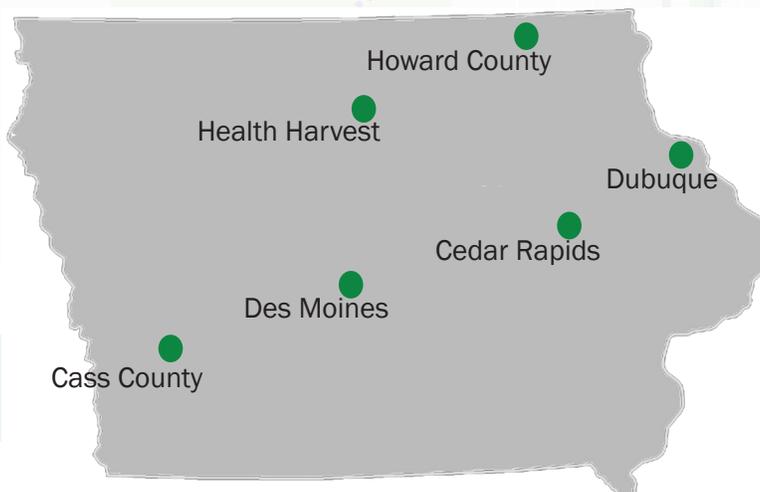
- Residential, Faith, School and Community Gardens
- Edible Landscapes
- Community Supported Agriculture
- Rural + Urban Farms
- Farmers Market + Public Markets
- Restaurants + Food Trucks
- Food Hubs + Food Boxes
- Processing Facilities
- Shared-Use Kitchens
- Food Enterprise Centers
- Agricultural Education Centers
- Awareness Campaigns



Carver Garden: Public Charrette: 2013

We are working with six communities to develop holistic food systems. Healthy Harvest, Cass County, and Dubuque are beginning the first year of the Agricultural Urbanism Toolkit process: building a community coalition, researching and assessing their food system, hosting public forums and prioritizing tactic design and implementation.

Cedar Rapids, Cresco, and Des Moines are entering their second year of the Agricultural Urbanism Toolkit process and are beginning to design and implement their prioritized tactics to continue to develop and evolve their community food system.



ISU Community Design Lab

2321 North Loop Drive, Suite 121

Ames, IA 50010

515.294.2213

isucdl@iastate.edu

<http://research.design.iastate.edu/communitydesignlab/>

www.facebook.com/ISUCDL 

Agricultural Urbanism

Agricultural Urbanism: Connects natural and built environments through design and planning to create **holistic food systems** that assist in community redevelopment, revitalization and sustainability. This booklet contains best management practices and case studies of tactics of agricultural urbanism. The **Integration** of these tactics in community design and planning, leads to the creation of a **collaborative network** of tactics ranging in scale and typology. These creative solutions generate business development opportunities, improve food security + health for residents, and enhance environmental sustainability, and access to additional resources for open space; leading to **overall healthy environments**.

Benefits:

- Food System Revitalization
- Promotion of closed-loop production
- Sustainable practices
- Economic Development
- Safe, healthy food
- Improved exercise opportunities
- Beauty + improved environment
- Education on food system
- New Business Development
- Self-sufficiency
- Community engagement
- Creative programming
- Access to open space
- Partnership



It's Time for Real
http://infosthetics.com/archives/2009/07/eat_local_eat_real_video.html

Community Impact

- 80% of the planet's usable farmland is cultivated: we need creative new ways of promoting food production
- More than 10% of the world's population goes hungry every night: we need to create improved methods of food accessibility
- Our population is expected to be at 10 billion in 2050: we need to develop a food system that can feed these population healthy foods and provide infrastructure to transport and develop foods within close proximity



AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 9, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	J. BENJAMIN CHAMP, AICP, EDFP, ASLA ASSISTANT CITY MANAGER / COMMUNITY DEVELOPMENT DIR.
SUBJECT:	NE 70th STREET IMPROVEMENTS PROJECT CONTRACT FOR ENGINEERING SERVICES

BACKGROUND:

The City has been working annually through a series of roadway capital improvement program projects. One of the next major steps is the reconstruction of NE 70th Street in an area between University Avenue and Rising Sun Drive. This is a connection that will eventually connect south to SE 6th Avenue in a later phase and serve development in the future center of the community. The roadway is currently a rural section asphalt street that needs to be updated for long term safety and traffic capacity. The attached scope of services with the City Engineer, Snyder and Associates, for design, bidding, and construction observation has been developed for the project. Included in the project is a roundabout for the connection with Meacham Drive and the extension of Meacham Drive approximately 1000' west of 70th Street. The project will begin immediately with a traffic study that will also consider the intersection with Rising Sun Drive for a second potential roundabout or standard signal improvements. These improvements relate to the recently completed comprehensive plan and the project will incorporate complete street elements and community signage within the roundabout. The attached resolution provides for the approval of the contract for engineering services.

ANALYSIS/IMPACT:

The reconstruction of NE 70th is the next step for improved circulation that will include more phases of Meacham Drive to serve as an east west connection for local traffic. The project has been identified as a priority during City Council budgeting and goal setting.

ALTERNATIVES:

Not approve the resolution. However, the project would be delayed or not completed.

FINANCIAL CONSIDERATIONS:

Funding for the design and construction would come from capital improvement project funds.

RECOMMENDATION:

Consider approval of the attached resolution approving the contract with the City Engineer, Snyder and Associates for the NE 70th Street improvements project.

RESOLUTION #020916-08

A RESOLUTION APPROVING CONTRACT FOR ENGINEERING SERVICES FOR THE NE 70th STREET IMPROVEMENTS PROJECT

WHEREAS, the Pleasant Hill City Council has identified the need for improvements to NE 70th Street in an area near University Avenue and Rising Sun Drive; and

WHEREAS, the City Engineer, Snyder and Associates, has prepared the attached contract for engineering services for the project in the amount of \$379,000;

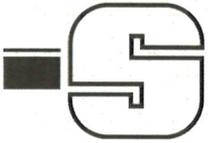
THEREFORE, BE IT RESOLVED, that the City Council of Pleasant Hill, Iowa, in Polk County, Iowa, does hereby approve the attached contract with the City Engineer, Snyder and Associates, for the NE 70th Street Improvements Project

ADOPTED this 9th day of February 2016.

Sara Kurovski, Mayor

ATTEST:

Dena Spooner, City Clerk/Finance Director



February 4, 2016

Mr. Don Sandor
City Manager
City of Pleasant Hill
5160 Maple Drive, Suite A
Pleasant Hill, Iowa 50327

RE: NE 70TH STREET IMPROVEMENTS PROJECT
PLEASANT HILL, IOWA

Dear Don:

Please find attached the Agreement Form with our understanding for a Scope of Services for the anticipated NE 70th Street improvements project to include the reconstruction of NE 70th Street from University Ave to approximately 500 feet south of SE Rising Sun Drive to include approximately 1,000 LF of Meacham Drive west of NE 70th Street, as requested. We trust you will find the Scope self-explanatory, however, we are flexible to your needs and are most willing to discuss the Scope for a mutual agreement.

Please review and provide an authorized signature of the Agreement and return one copy for our files. Thank you.

Sincerely,

SNYDER & ASSOCIATES, INC.

Eric D. Cannon, P.E.

Enclosure



STANDARD PROFESSIONAL SERVICES AGREEMENT (Short Form)

NOW ON THIS ____ day of _____, 2016, **Snyder & Associates, Inc.**,
2727 SW Snyder Boulevard., Ankeny, IA 50023 (hereinafter, Professional), and
CITY OF PLEASANT HILL, IOWA

(hereinafter, Client) do hereby agree as follows:

1. **PROJECT:** Professional agrees to provide Professional Services (Services) for Client's project known and identified as: NE 70th Street Improvements
2. **SCOPE AND FEES:** The Scope of and the fees to be paid for said Services are set forth on Exhibit A attached hereto and by this reference made a part of this Agreement. Any Services not shown on Exhibit A shall be considered Additional Services. Additional Services may only be added by written change order, amendment or supplement to this agreement signed by both parties.
3. **TIMELINESS:** Professional will perform its services with reasonable diligence and expediency consistent with sound professional practices and within the time period(s), if any, set forth in Exhibit A.
4. **STANDARD OF CARE:** In providing Services under this Agreement, the Professional shall perform in a manner consistent with that degree of care and skill ordinarily exercised by members of the same professional discipline currently practicing under similar circumstances at the same time and in the same or similar locality. Professional makes no warranty, express or implied, as to its professional services rendered under this Agreement. Client shall promptly report to Professional any defects or suspected defects in the Professional's Services of which Client becomes aware. Withholdings, deductions or offsets shall not be made from the Professional's compensation for any reason unless the professional has been found to be legally liable for such amounts by a court of competent jurisdiction.
5. **INVOICE, PAYMENT, INTEREST, SUSPENSION:** Professional shall prepare invoices in accordance with its standard invoicing practices and submit the invoice(s) to Client on a monthly basis. Client agrees to timely pay each invoice within 30 days of the invoice date. Payments not paid within said 30 days shall accrue interest on unpaid balances at the rate of 1.5% per month (or the maximum rate of interest permitted by law, if less) from said 30th day. In addition, Professional may, after giving 7 days written notice to Client, suspend services under this Agreement until Professional has been paid in full for Services, interest, expenses and other related charges rendered, accrued, advanced and/or incurred by Professional to the date of suspension. Client waives any and all claims against Professional arising out of or resulting from said suspension. Payments will be credited first to interest, then to expenses, then to principal.
6. **RELIANCE:** The Client shall furnish, at its expense, all information, requirements, reports, data, surveys and instructions required by this Agreement and Professional may use such furnished information and material in performing its services and is entitled to rely upon the accuracy and completeness thereof. The Professional shall not be held responsible for any errors or omissions that may arise as a result of erroneous or incomplete information provided by the Client and/or the Client's consultants and contractors.
7. **ASSIGNMENT:** Client shall not transfer, sublet or assign any rights or duties under or interest in this Agreement, without the prior written consent of Professional.
8. **OWNERSHIP OF INSTRUMENTS OF SERVICE:** All reports, drawings, specifications, electronic and hard copy files, field data, notes and other documents and instruments prepared by Professional for the Project are acknowledged to be instruments of service and shall remain the property of the Professional. The Professional shall retain all common law, statutory and other reserved rights, including, without limitation, the copyrights thereto. If Professional agrees to allow transfer of its electronic media file(s), Client understands and agrees that as a condition precedent, it will sign the Professional's "Electronic Media Transfer Agreement" form prior to the transfer of an electronic media file.

ADDITIONAL TERMS AND CONDITIONS

- 9. **MUTUAL INDEMNIFICATION:** The Professional and the Client mutually agree, to the fullest extent permitted by law, to indemnify and hold each other harmless from any and all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, arising from their own negligent acts, errors or omissions, or willful misconduct in the performance of their services, duties and responsibilities under this Agreement, to the extent that each party is responsible for such damages, liabilities and costs on a comparative basis of fault.
- 10. **MUTUAL WAIVERS:** Notwithstanding any other provision of this Agreement, and to the fullest extent permitted by law, neither the Client nor the Professional, their respective officers, directors, partners, employees, contractors or subconsultants shall be liable to the other or shall make any claim for any incidental, indirect or consequential damages arising out of or connected in any way to the Project or to this Agreement.
- 11. **LIMITATION:** In allocating the risks of this Project and notwithstanding any other provision of this Agreement, the Client agrees to limit, to the maximum extent permitted by law, the Professional's liability for the Client's damages to the aggregate sum of the Professional's fee for this Project. This limitation shall apply regardless of the cause of action or legal theory pled or asserted.
- 12. **DISPUTE RESOLUTION:** Any disputes that arise during the Project or following the completion of the Project will be resolved by representatives from each party who have authority to settle. Those issues not resolved shall be submitted to formal nonbinding mediation prior to submission to a court of competent jurisdiction. Each party shall endeavor to include a similar dispute resolution in all agreements with other consultants, contractors and subcontractors of any tier who are retained for the project so that formal mediation is required as the primary form of dispute resolution.
- 13. **SEVERABILITY:** If any term or provision of this Agreement is held to be invalid or unenforceable under any applicable statute or rule of law, such holding shall be applied only to the provision so held, and the remainder of this Agreement shall remain in full force and effect.
- 14. **SURVIVAL:** Notwithstanding completion or termination of this Agreement for any reason, all rights duties and obligations of the parties to this Agreement shall survive such completion or termination and remain in full force and effect until fulfilled.
- 15. **GOVERNING LAW AND JURISDICTION:** The Client and the Professional agree that this Agreement and any legal actions concerning its validity, interpretation and performance shall be governed by the laws of the State of Iowa, without regard to any conflict of laws provisions, which may apply the laws of other jurisdictions. It is further agreed that any legal action between the Client and the Professional arising out of this Agreement or the performance of the services shall be brought in a court of competent jurisdiction in the State of Iowa.
- 16. **ATTORNEYS FEES, COSTS:** In the event legal action is necessary to enforce the payment terms of this Agreement, Professional shall be entitled to collect from Client and Client agrees to pay to Professional any judgment or settlement sum(s) due, plus reasonable attorneys' fees, court costs and other expenses incurred by Professional for such collection action and, in addition, the reasonable value of the Professional's time and expenses spent for such collection action, computed according to the Professional's prevailing fee schedule and expense policy.
- 17. **INCORPORATION BY REFERENCE:** It is understood and agreed that the provisions of the following attached Exhibits are incorporated herein and by this reference made a part of this Agreement:

Exhibit A Scope of Services
Exhibit B Standard Fee Schedule

Exhibit C Concept Plan
Exhibit

CITY OF PLEASANT HILL, IOWA (Client)

SNYDER & ASSOCIATES, INC. (Professional)

By: _____
 (Authorized agent)

By: _____
 (Authorized agent)

 (Printed or typed signature)

 (Printed or typed signature)

Route executed copy to: Eric Cannon

EXHIBIT 'A'

NE 70TH STREET IMPROVEMENTS PROJECT
FOR THE
CLIENT OF PLEASANT HILL, IOWA

February 4, 2016

I. PROJECT DESCRIPTION

The NE 70th Street Improvements Project includes reconstruction of NE 70th Street from E. University Avenue (Iowa Highway 163) to approximately 500' south of NE Rising Sun Drive. The project will include design of a roundabout at the connection to future Meacham Drive and additional optional location at NE Rising Sun Drive and design of approximately 1000' of proposed Meacham Drive to the west of NE 70th Street. The project is being done to increase capacity and improve safety on NE 70th Street. Scope of services includes project administration, survey and base drawings, preliminary and final design and construction plans, geotechnical engineering, acquisition and easement plats, bidding, construction administration, staking, and construction observation.

II. SCOPE OF SERVICES

A. BASIC SERVICES

1. Project Administration
 - a. Monthly progress reports to the CLIENT.
 - b. Monthly billing reports.
 - c. Project coordination for engineering and coordination with the OWNER and Utility Companies.
 - d. Project design review with the CLIENT, as needed.
 - e. Miscellaneous meetings to review progress and attend informal meetings, Council meetings and Public Hearings. Two (2) meetings are assumed.
2. Survey and Base Drawings
 - a. Site Features - A topographic field survey will be performed of the above ground physical features including pavements, trees, buildings with elevations at doorways that exit at grade, utility appurtenances, etc. within the survey limits. The survey limits begin 500' south of NE Rising Sun Drive to 400' north of Iowa 163 on NE 70th Street and on NE Rising Sun Drive 300' west and east of NE 70th Street. A 300-foot corridor centered on the roadway will be surveyed. The intersection of Iowa 163 will be surveyed from 100' west of the west median nose to

100' east of the east median nose. An application to work in Iowa DOT right of way will be obtained for this purpose.

- b. Existing Utilities – The PROFESSIONAL will utilize the design information and design locate process through the Iowa One Call system. Utilities that are located in the field will be surveyed and included on the base map. No utility test holes are included in this scope of services.
- c. Boundary Survey – Right of way lines adjacent to the topographic survey areas will be established. No other right of way acquisition services beyond preparing the acquisition plat are included in this scope of services.

3. Traffic Analysis and Memorandum

- a. The PROFESSIONAL will conduct a kickoff coordination meeting with CLIENT staff to review current development plans and speculation for other land use types in study area.
- b. The PROFESSIONAL will gather existing traffic count data at NE 70th St & E. University Ave. from Iowa DOT count sources for 2004, 2008, and 2012. Review crash history at study intersections/roadways for safety analysis from Iowa DOT database (5-yrs). Observe current peak hour traffic conditions. Based on background traffic data or City input, turning movement counts will be collected at two (2) intersections for 13 hours each and will gather additional road tube counts, up to three (3) locations within the study area.
- c. The PROFESSIONAL will review MPO long range transportation forecast information for the general area.
- d. The PROFESSIONAL will develop order of magnitude trip generation for study area, daily & peak hour, per land uses associated with existing zoning, comp plan, or known proposed developments. Assign and distribute new trips to the roadway network and develop forecasted traffic volumes for a future design build out conditions of +20 years.
- e. The PROFESSIONAL will determine functional lane/geometric, intersection, and potential traffic control needs for NE 70th St. between E. University Ave. & Rising Sun Drive, any intersecting collector streets (Meacham Drive), and at the intersections with E. University Ave. based on projected daily and design hour traffic forecasts. Outcomes would include short term needs for any functional lanes, access control, intersection spacing, and possible long term major infrastructure needs.
- f. The PROFESSIONAL will prepare a technical memorandum documenting existing conditions, expected traffic demand/forecasts, operational analysis impacts on roadway network, access locations to adjacent properties, and functional geometric recommendations. The

geometric recommendations will review the opportunity for roundabout at the intersection of NE 70th Ave and Meacham Drive as well as the intersection with NE Rising Sun Drive. The memorandum will be provided to the CLIENT and used for support discussions in coordination with developers on proposed site plans, and/or to initiate discussions with Iowa DOT regarding possible intersection improvements in future years.

- g. The PROFESSIONAL will conduct a follow up meeting with the CLIENT to discuss technical memorandum recommendations.

4. Wetland Delineation

- a. The PROFESSIONAL will provide wetland and stream delineation for the PROJECT. The wetland delineation will be performed to determine the upper boundaries of wetland areas at the project site. The PROFESSIONAL will review United States Geological Survey topographic maps, National Wetland Inventory maps, Soil Survey, and aerial photographs as part of a preliminary data search. On-site visits will be performed to gather data pertaining to wetland vegetation, wetland hydrology, and hydric soils. The boundary of each wetland and stream located within the project limits will be surveyed. Field work will be conducted in accordance with procedures outlined in the 1987 US Army Corps of Engineers Wetland Delineation Manual and Midwest Supplement. Snyder and Associates, Inc. will provide copies of the Wetland and Stream Delineation Report summarizing the findings of the data searches and the on-site wetland delineation.
- b. The CLIENT will coordinate with the landowners prior to the site visit to ensure access to properties required for field investigation. Fieldwork for this site will be completed during the growing season in order to be approved by the Rock Island District Corps of Engineers.
- c. Wetland and/or stream mitigation plans, if required, will be added by contract amendment and the extent of the mitigation is known.

5. Preliminary Design and Plans

- a. The PROFESSIONAL will prepare preliminary design and plan documents for the entire corridor for review, comment, and coordination. The preliminary plans will address significant project features such as alignment and grade, pavement determinations, sideroad connections, drainage, staging, accommodation of utilities, landscaping design, traffic control and staging, maintenance of access, other design issues that would affect the limits of construction, and the right of way and easement needs for the project. The preliminary design will include the roundabout shown at Meacham Drive in the preliminary concept. This shall also include the layout of the roundabout for NE Rising Sun Drive. The

project design will end approximately 500' south of NE Rising Sun Drive. Coordination with adjacent property owners on ROW needs and alignment of roadway infrastructure shall be included.

6. Final Design and Construction Plans
 - a. The PROFESSIONAL shall prepare construction documents for the PROJECT. The plans shall include the following information:
 - b. Construction plans to include details necessary for project construction. This will involve the following items:
 1. Title Sheet
 2. General Notes, Quantities, and Estimate Reference Information
 3. Demolition Plan and Details
 4. Pavement Improvements to roadway design, water main extension and design of necessary storm sewer and intakes.
 5. Typical Pavement Cross Section with Design Thickness
 6. Location of Utility Adjustments
 7. DOT permitting
 8. Traffic signal modification design and plans
 9. Streetlight design and photometric analysis
 10. Landscaping Design
 11. Construction Specifications utilizing SUDAS and MUTCD with Special Provisions.
 - c. Landscaping design is assumed to include plantings and potentially colored concrete or concrete paver crosswalks and/or truck aprons at the roundabout and within the NE 70th Ave roadway median. High level streetscape design is not included. No irrigation design is included. Sketches and plan views will be used to convey the design intent. Computer-generated visualization models are not included in the scope of services.
 - d. The PROFESSIONAL will prepare preliminary traffic signal modification plans and special provisions using the base mapping from preliminary roadway geometry for the University Ave. & NE 70th St. traffic signal. Anticipated modifications include replacing/relocating two traffic signal poles and inductive loop detection for the south approach and stop line detection for the west approach. Preliminary plans and special provisions will be submitted to the CLIENT for review prior to preparation of final traffic signal modification plans and special provisions.
 - e. After comments are received, the PROFESSIONAL will finalize the modifications and special provisions and include the following anticipated plan sheets: Signal General Notes and Quantities, Signal

Layout, Wiring Diagram, Signal Phasing, and Detail sheets. the PROFESSIONAL will prepare an engineer's opinion of probable cost.

- f. Probable Costs - The PROFESSIONAL shall prepare a statement of the total probable cost for the PROJECT based upon the design developed. Statements of probable construction costs prepared by the PROFESSIONAL represent the best judgment as a design professional familiar with the construction industry. It is recognized, however, that the PROFESSIONAL has no control over the cost of labor, materials or equipment, over the Contractor's methods of determining bid prices, or over competitive bidding or market conditions. Accordingly, the PROFESSIONAL does not guarantee that any actual cost will not vary from any cost estimate prepared by the PROFESSIONAL.
7. NE Rising Sun and NE 70th Ave roundabout final design shall include final geometric layout of proposed roundabout at the intersection including detailed jointing, spot elevations, sidewalks, landscaping, signage, adjacent roadway approach islands and associated construction details.
8. Acquisition Plats, Easement Plats, Vacation Plats and Plat of Survey– Acquisition plats shall be prepared for permanent ROW acquisition for the roadway. The plats shall be prepared in accordance with the minimum standards for land surveying of the Iowa Code. An easement plat will be prepared for the temporary construction easements necessary for construction of a new roadway and any relocated utility easements. The CLIENT will perform negotiations with property owner and obtain acquisition of property. Up to six (6) plats are included in this scope of services.
9. Community entry way signage within roundabout to include preliminary sketch drawings of two concepts of proposed signage and details for presentation to City for review. Upon review and comments of preliminary concepts shall prepare final design concept rendering and detailed construction drawings and specifications for improvements.
10. Geotechnical Investigation
 - a. The PROFESSIONAL will hire an independent subcontractor to obtain up to 8 soil borings along the existing road that is to be reconstructed with PCC pavement. The geotechnical investigation includes drilling, sampling, lab testing, engineering analysis of subgrade conditions and slope stability, and a written report.
 - b. The geotechnical report will be made available to contractors during bidding. Iowa DOT style 'Q' sheets (soils plan and profile sheets) are not included in this scope.

11. Bid Assistance

- a. The project will be let by the CLIENT and the PROFESSIONAL shall supply the necessary documents for this process.
- b. The PROFESSIONAL shall answer questions from potential contractors, subcontractors, and suppliers, and coordinate with the CLIENT during this phase of services.
- c. The PROFESSIONAL shall attend the meeting at which bids are received, tabulate the bids, and make recommendations to the City Council regarding the awarding of the construction contract to the lower qualified bidder.

B. CONSTRUCTION SERVICES

1. Construction Administration

- d. The PROFESSIONAL shall arrange and conduct a preconstruction conference with the contractor and CLIENT to review the contract requirements, details of construction, and work schedule prior to construction.
- e. The PROFESSIONAL shall review shop drawings and other submissions of the contractor for general compliance with the construction contract.
- f. The PROFESSIONAL shall prepare partial payment applications and change orders and make recommendations to the CLIENT for their acceptance.
- g. The PROFESSIONAL shall review the project to determine if it has been completed in substantial conformance with the contract documents and recommend acceptance to the CLIENT.
- h. The PROFESSIONAL shall assist with timing operations. Perform follow-up observation and adjustment of signal timing settings during peak periods and modify coordination timing plan settings to integrate modified phasing into the University Avenue signal system.

2. Construction Survey

- i. The PROFESSIONAL shall be responsible for providing all construction stakes for the PROJECT. The construction documents will contain a provision that the PROFESSIONAL will provide one set of stakes for each construction operation. Any staking that is destroyed due to construction that has to be replaced, will be at the Contractor's expense.

3. Construction Observation

- j. The PROFESSIONAL will provide a full-time construction observer to verify compliance with the contract documents.
- k. The PROFESSIONAL will attend the preconstruction meeting and subsequent field meetings during construction as necessary.

- l. The PROFESSIONAL will verify materials provided by the contractor are in accordance with the contract documents. The PROFESSIONAL reserves the right to reject any inappropriate or damaged materials delivered to, or observed on the site. The PROFESSIONAL will verify inappropriate or damaged materials are not incorporated into project by observing destruction of materials on-site and/or the Contractor hauling material off-site. The PROFESSIONAL will notify the CLIENT of inappropriate or damaged materials found at the site.
- m. If the PROFESSIONAL observes, or has reason to believe, the Contractor's construction methods or materials used does not meet the specifications then the PROFESSIONAL will immediately notify the City to determine the appropriate corrective measure(s) to be taken. This may include the City directing the Contractor to stop work until the appropriate corrective measure(s) is determined.
- n. The PROFESSIONAL will measure and keep a record of contract quantities for payment applications and observe and document testing required of the contractor.
- o. The PROFESSIONAL shall spot check grading and subgrade preparation and review with the contractor any soft spots in the subgrade prior to paving.
- p. The PROFESSIONAL will be on-site full time during paving operations. Air tests and compressive strength test cylinders will be required to be completed by an independent testing laboratory provided by the contractor. Testing will be overseen by the PROFESSIONAL.
- q. The PROFESSIONAL will periodically oversee sawing and sealing of joints.
- r. Provide periodic on-site visits to observe construction during the course of installation of the street.
- s. The PROFESSIONAL will assist City staff in developing a final punch list and very completion of items for acceptance.

III. FEES

The above scope of services will be provided for the following fee:

LUMP SUM BASIC SERVICES

1. Project Administration	\$11,000
2. Survey & Base Drawings	\$12,700
3. Traffic Analysis and Memo	\$12,500
4. Wetland Delineation	\$5,000
5. Preliminary Design	\$97,000
6. Final Design and Construction Plans	\$76,000
7. NE Rising Sun Final Roundabout Design	\$18,000
8. Acquisition and Easement Plats (6 assumed)	\$4,800
9. Community Entry Way Signage	\$8,000
10. Geotechnical Engineering	\$10,000
11. Bid Assistance	\$3,000

SUBTOTAL FOR BASIC SERVICES\$258,000

HOULRY CONSTRUCTION SERVICES

1. Construction Administration	\$27,000
2. Construction Survey	\$28,000
3. Construction Observation	\$62,000
4. Record Drawings	\$4,000

SUBTOTAL CONSTRUCTION SERVICES\$121,000

TOTAL FEE.....\$379,000

EXTRA SERVICES

The following items shall be considered extra services and are not included within the Scope of Work. These items are listed to further assist with clarity of project scope as well as provide a listing of services, which Snyder & Associates, Inc. could perform upon request.

1. Assessment Plats and Schedules
2. Submittal fees and/or permit fees to any and all regulatory agencies.
3. Client requested major revisions
4. Utility company locates
5. Bat Habitat Surveys
6. Wetland or Stream Mitigation Design
7. Negotiations with property owners for acquisition or right of way

EXHIBIT B

**SNYDER & ASSOCIATES, INC.
2015-16
STANDARD FEE SCHEDULE**

Billing Classification/Level	Billing Rate	
Professional		
<i>Engineer, Landscape Architect, Land Surveyor, Legal, GIS, Environmental Scientist Project Manager, Planner, Right-of-Way Agent, Graphic Designer</i>		
Principal	\$183.00	/hour
Principal	\$172.00	/hour
Senior	\$156.00	/hour
VIII	\$144.00	/hour
VII	\$137.00	/hour
VI	\$132.00	/hour
V	\$123.00	/hour
IV	\$112.00	/hour
III	\$104.00	/hour
II	\$94.00	/hour
I	\$81.00	/hour
Technical		
<i>Technicians--CADD, Survey, Construction Observation</i>		
Lead	\$110.00	/hour
Senior	\$106.00	/hour
VIII	\$99.00	/hour
VII	\$91.00	/hour
VI	\$81.00	/hour
V	\$73.00	/hour
IV	\$67.00	/hour
III	\$56.00	/hour
II	\$47.00	/hour
I	\$42.00	/hour
Administrative		
II	\$56.00	/hour
I	\$46.00	/hour
Reimbursables		
Mileage	<i>current IRS standard rate</i>	
Outside Services	<i>As Invoiced</i>	

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 09, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	J. BENJAMIN CHAMP, AICP, EDFP, ASLA ASSISTANT CITY MANAGER / COMMUNITY DEVELOPMENT DIR.
SUBJECT:	SITE PLAN – VILLAS AT PRAIRIE CREEK

BACKGROUND:

The City has been working with the purchaser of development property in the City of Pleasant Hill in an area southeast of Highway 65 and Oakwood Boulevard over the last several months. This property was previously owned by the Iowa Department of Transportation and was recently auctioned off by the Department as excess right-of-way. The property has been assigned zoning to coincide with the Future Land Use Plan and a Preliminary Plat was approved subject to remaining engineering comments at a previous meeting. A site plan has been submitted for the western portion of the property.

The proposed site plan shows 47 two-family units. The City Council set a density limit for the R-3A portion of the property after recommendation from Planning and Zoning Commission of 10 units per acre. The proposed plan has 94 units on 10.87 acres for a density of 8.7 units per acre. The site plan shows a private street through the western portion of the property, which will be constructed to the SUDAS specifications. The units to be developed are shown as rental properties under common ownership.

ANALYSIS/IMPACT:

The Planning and Zoning Commission will be reviewing the site plan at their February 8th meeting and anticipate a recommendation. The site plan is still under review by staff and engineering and approvals would be subject to all final engineering and utility comments along with the revisions still remaining on the Prairie Creek Plat 1 Preliminary Plat.

ALTERNATIVES:

Not approve the site plan. However, this could delay or terminate the project that is being developed in concert with City regulations.

FINANCIAL CONSIDERATIONS:

The City would be accepting additional street and utility infrastructure following future Final Plat approvals and acceptance that have been approved with a part of the preliminary plat.

RECOMMENDATION:

Consider approval of the attached resolution approving the Site Plan for Villas at Prairie Creek.

RESOLUTION #020916-09

A RESOLUTION APPROVING A SITE PLAN FOR VILLAS AT PRAIRIE CREEK

WHEREAS, the Pleasant Hill City Council and the Planning and Zoning Commission have received and reviewed the Preliminary Plat for Prairie Creek Plat 1; and

WHEREAS, the Commission has recommended conditional approval subject to final engineering and utility company comments; and

WHEREAS, the City Council wishes to approve the Site Plan with conditions;

THEREFORE, BE IT RESOLVED, that the City Council of Pleasant Hill, Iowa, in Polk County, Iowa, does hereby approve the Site Plan for Villas at Prairie Creek subject to final engineering and utility comments and the approval of remaining comments on Prairie Creek Plat 1 Preliminary Plat.

ADOPTED this 9th day of February 2016.

Sara Kurovski, Mayor

ATTEST:

Dena Spooner, City Clerk/Finance Director

SITE PLAN VILLAS AT PRAIRIE CREEK

PLEASANT HILL, POLK COUNTY, IA

PREPARED FOR
BLOOMFIELD ACRES, LLC

FOUND/ EXISTING	SET/ PROPOSED	LEGEND
▲	△	SECTION CORNER (SET 1/2" DIA. x 30" w/ CAP #14674)
●	○	IRON ROD (SET 1/2" DIA. x 30" w/ CAP #14674)
---	---	CENTER LINE OF ROAD
---	---	SECTION LINE
---	---	BLDG. SETBACK LINE
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	SILT FENCE
---	---	6" WATTLE
---	---	WATER MAIN
---	---	SANITARY SEWER PIPE
---	---	STORM SEWER PIPE
---	---	UNDERGROUND ELECTRIC
---	---	FIBER OPTICS
---	---	UNDERGROUND TELEPHONE
---	---	UNDERGROUND TV
---	---	OVERHEAD ELECTRIC
---	---	STORM SEWER MANHOLE
---	---	FLARED END SECTION
---	---	CLEAN OUT
---	---	SANITARY SEWER MANHOLE
---	---	WATER MAIN GATE VALVE
---	---	WATER SHUTOFF
---	---	FIRE HYDRANT
---	---	SIGN
---	---	GAS VALVE
---	---	POWER POLE W/ LIGHT
---	---	POWER POLE
---	---	MAIL BOX
---	---	FLAG POLE
---	---	ELECTRICAL PEDESTAL/BOX
---	---	TELEPHONE PEDESTAL
---	---	TELEVISION PEDESTAL
---	---	BOLLARD
---	---	SURVEY CONTROL POINT
---	---	BENCH MARK

ABBREVIATIONS	
R	RECORDED BEARING AND DISTANCE
M	MEASURED BEARING AND DISTANCE
C	CALCULATED BEARING AND DISTANCE
T/S	TOP OF SLAB
B/C	BACK OF CURB
NAG	NORTH AMERICAN GREEN (TRM)
FL	FLOW LINE
FG	FORM GRADE
INV	INVERT OF PIPE
TOB	TOP OF BERM
BOC	BEGINNING OF CURVE
EOC	END OF CURVE
TOC	TOP OF CURVE
MPE	MINIMUM PROTECTION ELEVATION

INDEX OF SHEETS

1	Cover Sheet
2	Dimension Plan
3	Grading Plan
4	Utilities Layout
5	Landscape Plan
6	Easement Plan
7	Project Details
8	Typical Details
9	Fox Lane Storm Sewer Cross Run Details
10	Paving, Sanitary and Water Plan & Profile
11	Paving, Sanitary and Water Plan & Profile
12	Paving, Sanitary and Water Plan & Profile
13	Storm Sewer Plan & Profile
14	Storm Sewer Plan & Profile
15	Storm Sewer Plan & Profile

REVISIONS

NO.	DATE	DESCRIPTION
1.	<DATE>	<DESCRIPTION>

PROJECT NOTES

- LEGAL DESCRIPTION:**
LOT 1 OF PROPOSED PRAIRIE CREEK PLAT 1 SUBDIVISION.
- NOTES:**
- SITE IS ZONED R-3A (APARTMENT/CONDOMINIUM)..
 - THIS SITE IS SUBJECT TO CONDITIONAL R3-A ZONING DISTRICT ASSIGNMENT REQUIREMENTS, INCLUDING A MAXIMUM DENSITY OF 10 UNITS PER ACRE, PER CITY COUNCIL ORDINANCE 799 PASSED AND APPROVED OCTOBER 13, 2015.

MAXIMUM DENSITY ALLOWED = 10 UNITS PER ACRE x 10.87 ACRES = 109 UNITS.
PROPOSED DENSITY = 47 TWO-FAMILY BUILDINGS (94 UNITS) / 10.87 = 8.7 UNITS PER ACRE.
 - BUILDING SUMMARY:**
33 VILLA STYLE BUILDINGS AT 2,496 SQ FT PER BUILDING.
14 BRADFORD STYLE BUILDINGS AT 3,070 SQ FT PER BUILDING.
TOTAL BUILDING AREA = 125,348 SQ FT.
 - PARKING SPACES REQUIRED = 2/UNIT x 94 UNITS = 188 SPACES.**
VILLA STYLE BUILDING TYPICAL PARKING SPACES = 3 PER UNIT (2 IN DRIVEWAY & 1 IN GARAGE) x 66 UNITS = 198 SPACES.
BRADFORD STYLE BUILDING TYPICAL PARKING SPACES = 4 PER UNIT (2 IN DRIVEWAY & 2 IN GARAGE) x 28 UNITS = 112 SPACES.
TOTAL PARKING SPACES PROVIDED = 310 SPACES.
 - ALL STREETS AND STORM SEWER WILL BE PRIVATELY OWNED AND MAINTAINED BY PROPERTY OWNER.
 - ALL WATER MAIN AND SANITARY SEWER WILL BE PUBLICLY OWNED. WATER MAINS ARE MAINTAINED BY DES MOINES WATER WORKS.
 - ALL CONSTRUCTION OF PRIVATE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRENT CITY OF PLEASANT HILL DESIGN STANDARDS AND IOWA SUDAS STANDARD SPECIFICATIONS.
 - STREET PAVING AND UTILITIES SHOWN WITHIN PRAIRIE CREEK DRIVE R.O.W. ARE TO BE CONSTRUCTED AS PART OF THE PRAIRIE CREEK PLAT 1 PUBLIC IMPROVEMENTS AND ARE SHOWN FOR REFERENCE ONLY.
 - STREET LIGHTING ALONG FOX LANE WILL BE PROVIDED BY WALL MOUNTED TIMED UNITS ON THE FRONT OF EACH BUILDING.
 - TRASH COLLECTION WILL BE WEEKLY CURBSIDE PICKUP (NO TRASH ENCLOSURES).
 - REFER TO ARCHITECTURAL ELEVATIONS FOR SPECIFIC BUILDING VARIATIONS.
 - DEVELOPER SHALL PROVIDE AS-BUILT SURVEY OF DETENTION BASINS TO VERIFY STORAGE REQUIREMENTS ARE BEING MET.
- PAVING & STORM SEWER NOTES**
- MAINTAIN 5.5' MINIMUM COVER ON ALL WATER LINES. MAINTAIN 18" MINIMUM VERTICAL CLEARANCE AT ALL SEWER CROSSINGS AND 10' MINIMUM HORIZONTAL CLEARANCE FROM SANITARY SEWERS. THE CONTRACTOR SHALL ADJUST THE WATER MAIN AND OR SERVICES AS REQUIRED TO AVOID CONFLICTS WITH THE STORM SEWER OR OTHER UTILITIES.
 - ALL WATER MAIN THAT IS LESS THAN 10' HORIZ. DISTANCE FROM THE STORM SEWER SHALL BE PLACED IN A SEPARATE TRENCH FROM THE STORM SEWER TRENCH.
 - ALL FIRE HYDRANTS MUST BE A MINIMUM OF 4 FEET BEHIND THE BACK OF CURB.
 - ALL FIRE HYDRANT LEADS SHALL BE VALVED.
 - INSTALL NUMBER 12 STANDARD COPPER TRACER WIRE ON ALL WATERMAIN PIPE. BRING TRACER WIRE TO THE SURFACE AT ALL VALVES, HYDRANTS AND DEAD ENDS. CONNECT NEW WIRE TO EXISTING. THE CONTINUITY OF THE TRACER WIRE SHALL BE TESTED PRIOR TO FINAL ACCEPTANCE.
 - CONTRACTOR SHALL LOCATE AND PROTECT ALL UNDERGROUND UTILITIES. DAMAGE TO UTILITIES WILL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
 - BACKFILL SHALL BE PLACED IN 6 INCH LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - INSTALL THRUST BLOCKS PER SUDAS STANDARDS (INCIDENTAL TO WATER MAIN CONSTRUCTION).
 - VERIFY THE DEPTH AND LOCATION OF THE EXISTING WATER MAIN PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2014 EDITION OF SUDAS.
 - ALL BENDS SHALL BE CONNECTED WITH MECHANICAL RESTRAINED JOINTS.
 - AT LEAST 3 WORKING DAYS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF PLEASANT HILL.
- WATER MAIN & SANITARY SEWER NOTES**
- MAINTAIN 5.5' MINIMUM COVER ON ALL WATER LINES. MAINTAIN 18" MINIMUM VERTICAL CLEARANCE AT ALL SEWER CROSSINGS AND 10' MINIMUM HORIZONTAL CLEARANCE FROM SANITARY SEWERS. THE CONTRACTOR SHALL ADJUST THE WATER MAIN AND OR SERVICES AS REQUIRED TO AVOID CONFLICTS WITH THE STORM SEWER OR OTHER UTILITIES.
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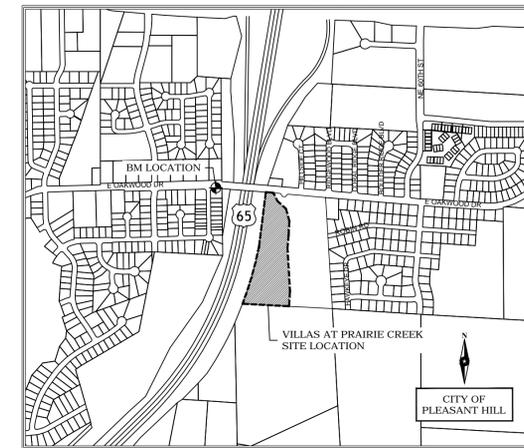
ESTIMATED QUANTITIES*

PAVEMENT	
7" PCC (FOX LANE)	3,886 SY
4" PCC (SIDEWALK)	927 SY
STORM SEWER	
12" RCP FES	1 EA
54" RCP FES	1 EA
12" CMP FES	2 EA
15" CMP FES	1 EA
18" CMP FES	2 EA
24" CMP FES	1 EA
36" CMP FES	1 EA
SW-501 SINGLE GRATE INTAKE	6 EA
SW-505 DOUBLE GRATE INTAKE	2 EA
SW-512 CIRCULAR BEE HIVE INTAKE	7 EA
SW-512 CIRCULAR BEE HIVE INTAKE (36" DIA.)	1 EA
SW-513 OPEN SIDED AREA INTAKE	4 EA
TYPE-B STORM SEWER CLEANOUT	4 EA
12" RCP STORM SEWER	11 LF
18" RCP STORM SEWER	77 LF
24" RCP STORM SEWER	74 LF
12" A2000 PVC STORM SEWER	1,527 LF
15" A2000 PVC STORM SEWER	34 LF
24" A2000 PVC STORM SEWER	1,995 LF
SANITARY SERVICE	
SW-301 48" SANITARY SEWER MANHOLE	9 EA
8" PVC TRUSS SANITARY SEWER	1,177 LF
15" PVC TRUSS SANITARY SEWER	217 LF
WATER SERVICE	
8" DR18 PVC WATER MAIN* (C900)	1,448 LF
8" CLOW GATE VALVE	3 EA
FIRE HYDRANT ASSEMBLIES	4 EA
8" x 6" TEE	4 EA
8" 11.25" ELBOWS	3 EA
8" 22.5" ELBOWS	2 EA
8" 45" ELBOWS	2 EA
* ALL BENDS & FITTINGS ARE INCIDENTAL TO MAIN CONSTRUCTION	
EROSION CONTROL	
** NORTH AMERICAN GREEN SC-250 TRM	14 SY
** NORTH AMERICAN GREEN SC-350 TRM	34 SY
CLASS D REVETMENT STONE W/ FABRIC UNDER LAYMENT	45 TON
SILT FENCE	2,625 LF
INLET PROTECTION	9 EA
* IN THE EVENT OF A DISCREPANCY BETWEEN THESE ESTIMATED QUANTITIES AND THE DETAILED CONSTRUCTION DRAWINGS, THE DETAILED CONSTRUCTION DRAWINGS SHALL GOVERN. ALTERNATE EQUIVALENT ALLOWED WITH CITY OF PLEASANT HILL APPROVAL.	

PROJECT BENCH MARKS

BM ELEV = 908.05
1/2" IR 17' S CL OAKWOOD, 75' C CL 56' LT
@ E EDGE DRIVE FOR WATER DEPT.

VICINITY SKETCH



SCALE: 1" = 1000'

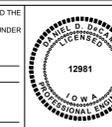


PROJECT CONTACTS

ENGINEER	OWNER/DEVELOPER
attn: Dan D. DeCamp, P.E.	attn: Dan Novelli
Abaci Consulting, Inc.	Bloomfield, LLC
101 NE Circle Dr.	7008 Madison Ave
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dandecamp@abaciconsulting.com	

PROJECT CERTIFICATIONS

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED AND THE RELATED WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.	
PRELIMINARY	
SIGNATURE DANIEL D. DeCAMP	DATE
PRINTED OR TYPED NAME IOWA LIC. NO. 12981	
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017.	
SHEETS 1 THROUGH XX	
PAGES COVERED BY THIS SEAL:	
THIS SURVEY/ENGINEERING DOCUMENT WAS PREPARED FOR USE ON THIS PROJECT IN ACCORDANCE WITH THE CLIENT'S SCOPE OF WORK REQUIREMENTS. ABACI CONSULTING, INC. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THIS DRAWING (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAAS SCOPE OF WORK REQUIREMENTS.	
UTILITIES SHOWN FOR REFERENCE ONLY. IOWA LAW REQUIRES AT LEAST 48 HOURS ADVANCE NOTICE BEFORE EXCAVATION BEGINS. NOTIFY IOWA ONE-CALL SERVICE PHONE 1-800-251-6899. ADDITIONALLY, THE CONTRACTOR SHALL ALSO NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION AND HAVE ANY AND ALL PRIVATE UTILITIES LOCATED.	



ABACI CONSULTING, INC.

101 NE CIRCLE DR, GRIMES, IOWA 50111, PH. (515)986-5048

CIVIL ENGINEERING - LAND SURVEYING



PROPOSED SIDEWALK
 PROPOSED PAVEMENT



PROJECT BENCH MARKS
 BM ELEV = 908.05
 1/2" IR 17' S CL OAKWOOD, 75' C CL 56' LT
 @ E EDGE DRIVE FOR WATER DEPT.

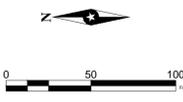
FOX LANE ALIGNMENT DATA

ALIGNMENT SEGMENT	POINT ON TANGENT START STATION	POINT ON TANGENT NORTHING	POINT ON TANGENT EASTING	CHORD	LENGTH	POINT ON TANGENT END STATION	POINT ON TANGENT NORTHING	POINT ON TANGENT EASTING	BEGIN CURVE STATION	BEGIN CURVE NORTHING	BEGIN CURVE EASTING	CURVE (Δ)	CURVE (T)	CURVE (L)	CURVE (R)	END CURVE STATION	END CURVE NORTHING	END CURVE EASTING
C1									1+10.73	580123.6640	1641051.4624	37° 22' 19.25"	16.91	32.61	50.00	1+43.34	580094.8572	1641037.4423
C2									5+75.46	579666.2078	1640982.7901	6° 19' 29.95"	232.74	465.00	4212.26	10+40.46	579216.0066	1640867.3624
C3									10+40.46	579216.0066	1640867.3624	104° 29' 28.00"	64.57	91.19	50.00	11+31.65	579151.0060	1640912.3742
L1	0+00.00	580202.4550	1641129.2639	S44° 38' 17"W	110.73	1+10.73	580123.6640	1641051.4624										
L2	1+43.34	580094.8572	1641037.4423	S7° 15' 57"W	432.12	5+75.46	579666.2078	1640982.7901										
L3	11+31.65	579151.0060	1640912.3742	S86° 56' 51"E	326.66	14+58.31	579133.6110	1641238.5703										

VILLAS AT PRAIRIE CREEK - SITE PLAN
 DIMENSION PLAN

PROJECT
 LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
 PREPARED FOR
 BLOOMFIELD ACRES, LLC

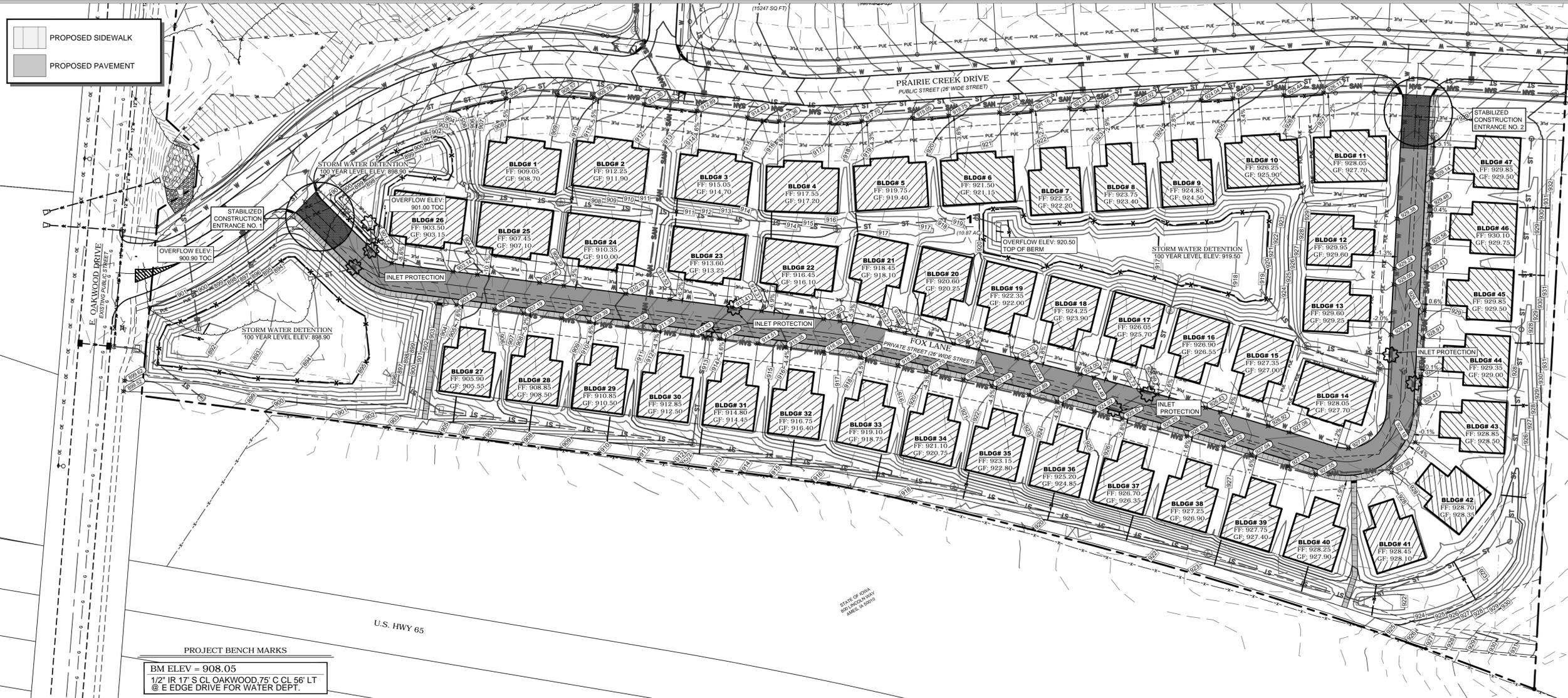
REVISIONS
 NO. DATE DESCRIPTION



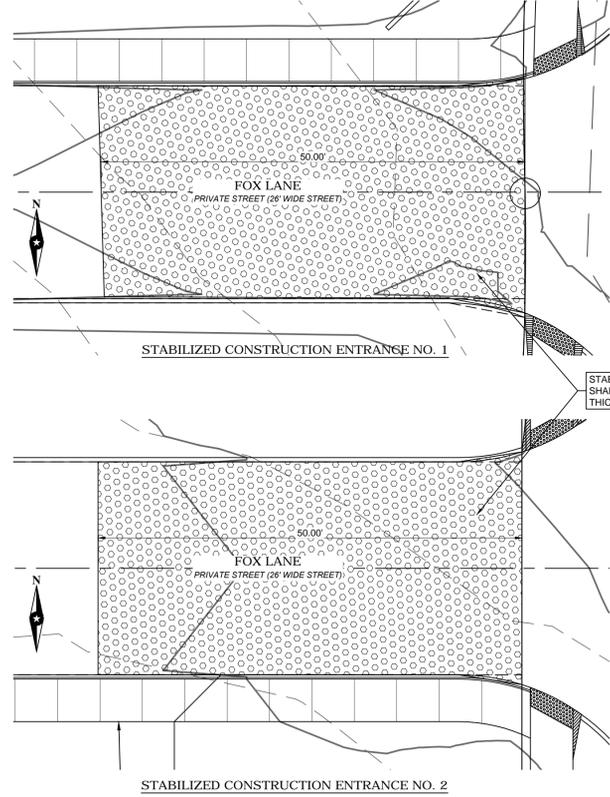
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 101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048

DRAWN BY: LCS
 CHECKED BY: DDD
 DATE OF DRAWING: 2/3/2016
 JOB NO.: 15306
 DRAWING NO.: 15-943

PROPOSED SIDEWALK
 PROPOSED PAVEMENT



PROJECT BENCH MARKS
 BM ELEV = 908.05
 1/2" IR 17' S CL OAKWOOD, 75' C CL 56' LT
 @ E EDGE DRIVE FOR WATER DEPT.



MINIMUM ELEVATIONS

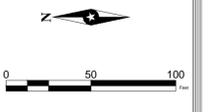
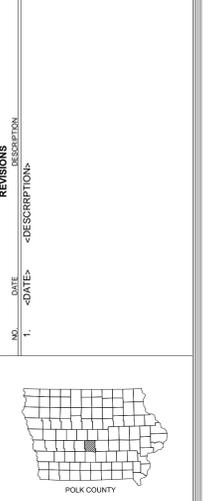
MPE BLDG #1, #26	= 902.00
MPE BLDG #6 - #19	= 921.50
MPE BLDG #27	= 905.00
MPE BLDG #41	= 925.00

GRADING, & EROSION CONTROL NOTES

- SITE NOTES:**
- THE CONTRACTOR SHALL PROTECT ADJOINING PROPERTIES FROM ANY DAMAGE RESULTING FROM THE MOVEMENT OF SOIL OR DEBRIS FROM THE PROJECT SITE.
 - PRESERVE ANY EXISTING VEGETATION UNTIL CONSTRUCTION IS NECESSARY IN THAT AREA.
 - SEED ALL AREAS (TEMPORARY OR PERMANENT) UPON COMPLETION OF FINAL GRADING AS SOON AS POSSIBLE.
 - IF CONSTRUCTION ACTIVITY IS NOT PLANNED TO OCCUR FOR AT LEAST 21 DAYS IN A DISTURBED AREA, STABILIZE WITH TEMPORARY EROSION CONTROL WITHIN 14 DAYS OF CEASING WORK IN THE AREA.
 - THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL EROSION CONTROL MEASURES (TEMPORARY AND PERMANENT) AND KEEP THEM IN WORKING ORDER. CLEANING OF SILTATION CONTROLS SHALL OCCUR NO LATER THAN WHEN THEY HAVE LOST 50% OF THE CAPACITY.
 - THE PROJECT AND EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY 7 DAYS. RECORD THE FINDINGS OF THE INSPECTION AND TAKE ANY ACTIONS NECESSARY TO ENSURE THAT THE EROSION CONTROL MEASURES ARE WORKING PROPERLY.
 - FINAL STABILIZATION MEANS: THE POINT AT WHICH ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN ESTABLISHED OR EQUIVALENT PERMANENT STABILIZATION MEASURES (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES) HAVE BEEN EMPLOYED.
 - PROVIDE ADDITIONAL SILT FENCE, SILT BASINS, EARTH DIKES, DITCH CHECKS, AND VARIOUS OTHER CONTROL MEASURES AS NEEDED.
 - CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE AT EACH DRIVEWAY LOCATION ALONG PRAIRIE CREEK DRIVE AND MAINTAIN SILT FENCE OR EQUIVALENT EROSION CONTROL BETWEEN DRIVEWAYS TO PREVENT SOIL LOSS ONTO THE PRAIRIE CREEK DRIVE R.O.W.
- CONSTRUCTION SEQUENCING:**
- INSTALL STABILIZED CONSTRUCTION ENTRANCE & PERIMETER SILT BARRIER(S).
 - CLEAR AND GRUB FOR EARTHWORK OPERATIONS.
 - CONTINUE GRADING OPERATIONS BEGINNING WITH STOCKPILING OF ANY AVAILABLE TOPSOIL. ALSO, INSTALL INTERIOR SILT BARRIERS.
 - STABILIZE DENUDED AREAS AND STOCKPILES WITHIN 14 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
 - INSTALL STORM SEWER AND WATER MAIN. INSTALL INLET PROTECTION.
 - PAVING.
 - FINE GRADING.
 - RE-SPREAD AVAILABLE TOPSOIL 4 INCHES MINIMUM.
 - TEMPORARY SEEDING/STABILIZATION ON BUILDING LOTS.
 - BUILDING CONSTRUCTION.
 - PERMANENT SEEDING/STABILIZATION OF DISTURBED AREAS.
 - FINAL COMPLETION, REMOVAL OF TEMPORARY EROSION CONTROL MEASURES.
- GENERAL NOTES:**
- THE CONTRACTOR SHALL COMPLY WITH ALL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES PERMIT, THE ENVIRONMENTAL PROTECTION AGENCY, AND LOCAL ORDINANCES.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL THE NECESSARY MEASURES TO ELIMINATE EROSION FROM THE PROJECT SITE AND BORROW OR FILL AREAS INCLUDING THE CONTROLS SHOWN ON THIS PLAN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PROPERTIES.
 - ALL SEDIMENT OR DEBRIS MUST BE REMOVED FROM ADJOINING PROPERTIES PROMPTLY OR THE OWNER WILL REMOVE THE ITEMS AND DEDUCT THE COST FROM THE AMOUNT DUE TO THE CONTRACTOR.

- THE SWPPP AND ALL DOCUMENTS ASSOCIATED WITH IT AND THE PERMIT SHALL BE KEPT ONSITE AT ALL TIMES AND BE AVAILABLE TO PRESENT TO THE IOWA DEPARTMENT OF NATURAL RESOURCES UPON REQUEST.
 - UPON FINAL COMPLETION AND STABILIZATION OF THE SITE, A NOTICE OF DISCONTINUATION MUST BE FILED BY THE OWNER. THE OWNER MUST RETAIN ALL DOCUMENTS ASSOCIATED WITH THE PERMIT AND SWPPP FOR THREE YEARS.
 - THE CONTRACTOR SHALL PROVIDE ALL DOCUMENTS INCLUDING THE ORIGINALS AND INSPECTION RECORDS TO THE OWNER UPON ISSUANCE OF THE NOTICE OF DISCONTINUATION.
- CONSTRUCTION SCHEDULE:**
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. CALL IOWA ONE CALL BEFORE DIGGING 1-800-292-8989.
 - STRIP TOPSOIL IN EXCAVATED AND FILL AREAS. REMOVE ALL VEGETATION AND ORGANIC MATERIALS PRIOR TO PLACING AND COMPACTING THE FILL.
 - ALL CUT AND FILL AREAS SHALL BE MAINTAINED FOR PROPER DRAINAGE AT ALL TIMES.
 - ALL FILL SHALL BE PLACED IN LIFTS NO GREATER THAN 8 INCHES AND COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR UNLESS OTHERWISE SPECIFIED IN THE CONSTRUCTION PLANS. OBTAIN REQUIRED COMPACTION WITHIN A SOIL MOISTURE CONTENT RANGE OF OPTIMUM MOISTURE TO 4 PERCENTAGE POINTS ABOVE OPTIMUM MOISTURE.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL MATERIALS TESTING REQUIRED TO ASSURE COMPLIANCE WITH THE PROJECT SPECIFICATIONS. THIS TESTING SHALL BE INCIDENTAL TO CONSTRUCTION.
 - IN THE EVENT OF A DISCREPANCY BETWEEN THESE SPECS. AND THE DETAILED CONSTRUCTION DRAWINGS, THE DETAILED CONSTRUCTION DRAWINGS SHALL GOVERN.
 - ANY COHESIONLESS SOILS ENCOUNTERED SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR BENEATH PAVEMENTS AND CRITICAL BACKFILL AREAS.
 - PROOF-ROLL THE PAVEMENT SUBGRADE PRIOR TO PLACING PAVEMENT. REMOVE AND REPLACE ANY UNSUITABLE SOILS TO A DEPTH OF 2 FEET.
 - MAINTAIN MOISTURE CONTENT OF PAVEMENT SUBGRADE SOILS CONSISTING OF CLAYS/SILTS BETWEEN 0 AND 4 PERCENTAGE POINTS ABOVE OPTIMUM UNTIL THE PAVEMENT IS PLACED.
 - CURB BACKFILL SHALL BE COMPACTED AND SLOPED TO PROVIDE ADEQUATE DRAINAGE AND PREVENTING WATER FROM PONDING AND INFILTRATING BENEATH THE PAVEMENT.
 - DISTURBS AS LITTLE AREA AS POSSIBLE DURING GRADING PROCEDURES.
 - STOCKPILE ALL STRIPPED TOPSOIL AND ALL EXCESS CUT IN THE AREA SHOWN ON THIS PLAN (OR IN A SUITABLE LOCATION). STRIP ANY AVAILABLE TOPSOIL TO A MINIMUM DEPTH OF 6", RESPREAD (4" MIN.) AVAILABLE TOPSOIL OVER ALL DISTURBED AREAS AFTER FINAL GRADES ARE REACHED (EXCEPT UNDER PAVEMENT/BUILDING PADS).
 - SEE THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE INITIAL EROSION CONTROL MEASURES.
 - POST CONSTRUCTION RUNOFF SHALL NOT ADVERSELY EFFECT DOWNSTREAM PROPERTIES OR FACILITIES.
 - IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES.
 - THE CONTRACTOR AND SUBCONTRACTORS MUST MAINTAIN PROPER EROSION CONTROL THROUGHOUT THE ENTIRE PROJECT.
 - SITE SOIL MATERIAL MUST BE RETAINED ON SITE BY PREVENTING EROSION. THIS INCLUDES SOIL EXCAVATIONS FOR FOUNDATIONS ON EACH RESPECTIVE LOT.
 - CONTRACTOR MUST PROMPTLY REMOVE ALL MUD, SOIL AND DEBRIS TRACKED ONTO CITY STREETS. CLEANING SHALL BE PERFORMED BEFORE THE END OF A WORK DAY OR PRIOR TO A RAIN EVENT.
 - INSTALL INLET PROTECTION TO EXISTING INTAKES PRIOR TO DISTURBANCE OF UPSTREAM SOILS.

VILLAS AT PRAIRIE CREEK - SITE PLAN
 GRADING PLAN/ EROSION CONTROL PLAN
 PROJECT
 LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
 PREPARED FOR
 BLOOMFIELD ACRES, LLC
 DRAWN BY: LCS
 CHECKED BY: DDD
 DATE OF DRAWING: 2/2/2016
 JOB NO.: 15306
 DRAWING NO.: 15-943



ABACI CONSULTING, INC.
 CIVIL ENGINEERING - LAND SURVEYING
 101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048



VILLAS AT PRAIRIE CREEK - SITE PLAN
 UTILITIES LAYOUT
 PROJECT: LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
 PREPARED FOR: BLOOMFIELD ACRES, LLC
 DRAWN BY: LCS
 CHECKED BY: DDD
 DATE OF DRAWING: 2/3/2016
 JOB NO.: 15-943
 DRAWING NO.: 15-943

SANITARY STRUCTURE TABLE*			
STRUCTURE ID:	STRUCTURE DETAILS:	NORTHING EASTING:	CONNECTED PIPES:
SS-1 SW-301 48" MH	STA: 5+83.44 OFF: 22.00R RIM: 891.94	N: 579836.6612 E: 1641204.0986	INV (N): 74' OF (8") PVC TRUSS INV ELEV: 899.30 INV (N): 177' OF (8") PVC TRUSS INV ELEV: 899.16 INV (S): 165' OF (8") PVC TRUSS INV ELEV: 899.16 INV (W): 217' OF (15") PVC TRUSS INV ELEV: 899.35
SS-2 SW-301 48" MH	STA: 3+78.39 OFF: 19.00R RIM: 911.00	N: 579864.1016 E: 1640988.8675	INV (S): 196' OF (8") PVC TRUSS INV ELEV: 899.92 INV (E): 217' OF (15") PVC TRUSS INV ELEV: 899.88 INV (N): 138' OF (8") PVC TRUSS INV ELEV: 899.84
SS-3 SW-301 48" MH	STA: 2+40.06 OFF: 19.00R RIM: 905.90	N: 580001.3171 E: 1641006.3623	INV (S): 138' OF (8") PVC TRUSS INV ELEV: 900.39
SS-4 SW-301 48" MH	STA: 5+76.20 OFF: 19.00R RIM: 917.30	N: 579669.1818 E: 1640964.0988	INV (S): 186' OF (8") PVC TRUSS INV ELEV: 910.44 INV (N): 196' OF (8") PVC TRUSS INV ELEV: 910.39
SS-5 SW-301 48" MH	STA: 7+63.15 OFF: 19.00R RIM: 923.30	N: 579487.5014 E: 1640923.7342	INV (S): 264' OF (8") PVC TRUSS INV ELEV: 916.82 INV (N): 186' OF (8") PVC TRUSS INV ELEV: 916.77
SS-6 SW-301 48" MH	STA: 10+28.06 OFF: 19.00R RIM: 927.50	N: 579235.9073 E: 1640852.9490	INV (S): 73' OF (8") PVC TRUSS INV ELEV: 919.61 INV (N): 264' OF (8") PVC TRUSS INV ELEV: 919.56
SS-7 SW-301 48" MH	STA: 10+86.44 OFF: 20.00R RIM: 928.00	N: 579160.6360 E: 1640857.8006	INV (S): 71' OF (8") PVC TRUSS INV ELEV: 920.03 INV (N): 73' OF (8") PVC TRUSS INV ELEV: 919.96
SS-8 SW-301 48" MH	STA: 11+42.32 OFF: 19.00R RIM: 928.50	N: 579131.4646 E: 1640922.0205	INV (E): 248' OF (8") PVC TRUSS INV ELEV: 920.50 INV (NW): 11' OF (8") PVC TRUSS INV ELEV: 920.45
SS-9 SW-301 48" MH	STA: 13+90.31 OFF: 19.00R RIM: 928.20	N: 579118.2590 E: 1641169.6558	INV (W): 248' OF (8") PVC TRUSS INV ELEV: 922.00

FITTING TABLE		
PART ID	FITTING DETAILS	NORTHING EASTING
WF-1 (8"x8" TEE)	STA: 777 OFF: 777	N: 580196.6783 E: 1641159.2030
WF-2 (8" 11.25" ELBOW)	STA: 0+30.40 OFF: -17.01	N: 580168.8752 E: 1641120.0049
WF-3 (8" 22.5" ELBOW)	STA: 1+31.05 OFF: -16.21	N: 580100.8250 E: 1641055.5721
WF-4 (8" 11.25" ELBOW)	STA: 1+32.64 OFF: -16.20	N: 580099.8236 E: 1641055.1895
WF-5 (8"x8" HYD TEE)	STA: 2+88.39 OFF: -16.97	N: 579948.8240 E: 1641035.9335
WF-6 (8" 11.25" ELBOW)	STA: 5+76.08 OFF: -17.07	N: 579662.2815 E: 1640999.4175
WF-7 (8"x8" HYD TEE)	STA: 6+16.08 OFF: -17.06	N: 579622.9272 E: 1640991.3949
WF-8 (8"x8" HYD TEE)	STA: 9+20.97 OFF: -16.99	N: 579325.7748 E: 1640918.0996
WF-9 (8" 22.5" ELBOW)	STA: 10+58.66 OFF: -14.67	N: 579198.8934 E: 1640879.7619
WF-10 (8" 45" ELBOW)	STA: 10+68.56 OFF: -13.15	N: 579191.6079 E: 1640879.3827
WF-11 (8" 45" ELBOW)	STA: 11+23.89 OFF: -9.52	N: 579161.3302 E: 1640906.6650
WF-12 (8"x8" HYD TEE)	STA: 11+70.55 OFF: -10.01	N: 579158.9255 E: 1640951.7584
WF-13 (8"x8" TEE)	STA: 777 OFF: 777	N: 579142.8968 E: 1641236.0849

PUBLIC WATER MAIN PIPE TABLE		
PIPE ID	LENGTH	DESCRIPTION
WP-1	47'	8" DR18 PVC WATER MAIN
WP-2	1'	8" DR18 PVC WATER MAIN
WP-3	91'	8" DR18 PVC WATER MAIN
WP-4	151'	8" DR18 PVC WATER MAIN
WP-5	288'	8" DR18 PVC WATER MAIN
WP-6	38'	8" DR18 PVC WATER MAIN
WP-7	305'	8" DR18 PVC WATER MAIN
WP-8	131'	8" DR18 PVC WATER MAIN
WP-9	7'	8" DR18 PVC WATER MAIN
WP-10	40'	8" DR18 PVC WATER MAIN
WP-11	44'	8" DR18 PVC WATER MAIN
WP-12	255'	8" DR18 PVC WATER MAIN
WP-13	48'	8" DR18 PVC WATER MAIN

APPURTENANCE TABLE		
PART ID	APPURTENANCE DETAILS	NORTHING EASTING
WA-1 (8" VALVE)	STA: 0+32.13 OFF: -17.04	N: 580167.6196 E: 1641118.8159
WA-3 (8" VALVE)	STA: 14+26.31 OFF: -10.01	N: 579145.3064 E: 1641207.1485
WA-2 (8" VALVE)	STA: 6+14.56 OFF: -17.06	N: 579624.4193 E: 1640991.7080

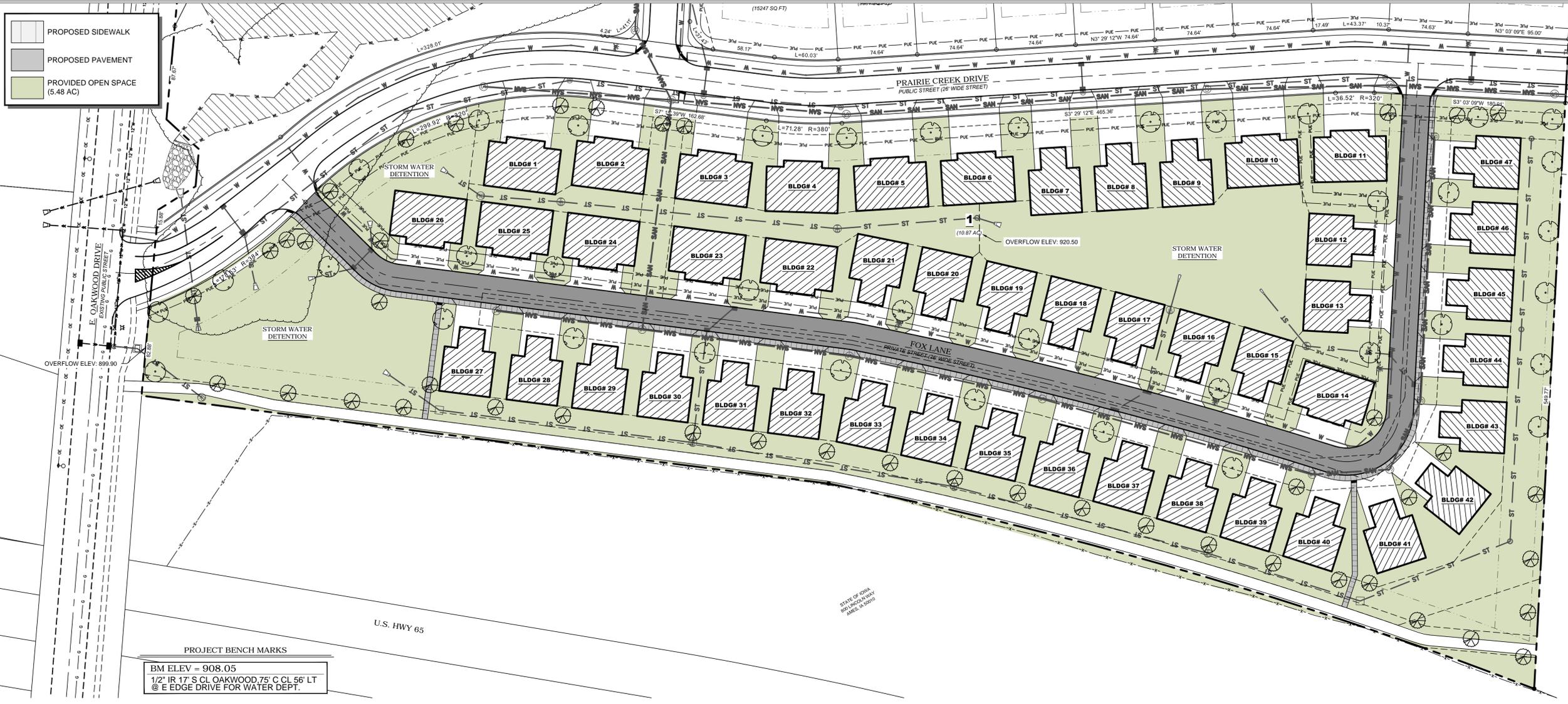
SANITARY PIPE TABLE				
NAME	SIZE	LENGTH	SLOPE	MATERIAL
SSP-1	15"	216.97'	0.15%	PVC TRUSS
SSP-2	8"	138.33'	0.40%	PVC TRUSS
SSP-3	8"	196.50'	5.33%	PVC TRUSS
SSP-4	8"	186.09'	3.40%	PVC TRUSS
SSP-5	8"	263.67'	1.04%	PVC TRUSS
SSP-6	8"	73.03'	0.51%	PVC TRUSS
SSP-7	8"	70.53'	0.60%	PVC TRUSS
SSP-8	8"	247.99'	0.80%	PVC TRUSS

STORM STRUCTURE TABLE*			
STRUCTURE ID:	STRUCTURE DETAILS:	NORTHING EASTING:	CONNECTED PIPES:
DS-1 54" RCP FES	STA: 12+78.34 OFF: -1157.44L RIM: 891.00	N: 580298.9896 E: 1641120.4963	
DS-2 SW-513	STA: 0+33.54 OFF: 148.69R RIM: 899.00	N: 580283.0566 E: 1640999.8559	INV (W): 12' OF (12") RCP INV ELEV: 891.50 INV (E): 122' OF (64") RCP INV ELEV: 891.45
DS-3 12" RCP FES	STA: 0+43.02 OFF: 156.05R RIM: 891.60	N: 580281.4849 E: 1640987.3992	
DS-4 SW-513	STA: 0+89.06 OFF: 196.70R RIM: 895.50	N: 580278.6924 E: 1640925.3028	INV (NE): 76' OF (24") RCP INV ELEV: 894.72
DS-5 36" CMP FES	STA: 1+43.09 OFF: 98.69R RIM: 895.50	N: 580106.7569 E: 1640949.5579	
DS-6 SW-513	STA: 1+98.57 OFF: 118.06R RIM: 902.00	N: 580055.0036 E: 1640913.3463	INV (NE): 63' OF (36") A2000 PVC INV ELEV: 895.81 INV (S): 240' OF (30") A2000 PVC INV ELEV: 897.84
DS-7 SW-512 36" DIA	STA: 4+39.03 OFF: 118.07R RIM: 910.00	N: 579816.4802 E: 1640882.9196	INV (E): 105' OF (12") A2000 PVC INV ELEV: 906.24 INV (S): 250' OF (30") A2000 PVC INV ELEV: 904.97 INV (N): 240' OF (30") A2000 PVC INV ELEV: 904.90
DS-8 SW-512	STA: 7+00.49 OFF: 118.09R RIM: 916.60	N: 579570.3455 E: 1640841.5475	INV (S): 247' OF (24") A2000 PVC INV ELEV: 908.27 INV (N): 250' OF (30") A2000 PVC INV ELEV: 907.87
DS-9 SW-512	STA: 9+54.36 OFF: 118.14R RIM: 920.30	N: 579331.6580 E: 1640779.1224	INV (S): 150' OF (24") A2000 PVC INV ELEV: 914.93 INV (N): 247' OF (24") A2000 PVC INV ELEV: 914.98
DS-10 MODIFIED SW-513	STA: 10+59.24 OFF: 131.05R RIM: 921.50	N: 579188.3842 E: 1640734.4191	INV (S): 192' OF (12") A2000 PVC INV ELEV: 919.25 INV (N): 150' OF (24") A2000 PVC INV ELEV: 918.45
DS-11 Type B C.O.	STA: 11+00.21 OFF: 147.83R RIM: 924.50	N: 579047.3574 E: 1640790.3410	INV (E): 199' OF (12") A2000 PVC INV ELEV: 920.84 INV (N): 152' OF (12") A2000 PVC INV ELEV: 920.79
DS-12 Type B C.O.	STA: 12+14.31 OFF: 110.00R RIM: 929.00	N: 579036.7597 E: 1640989.0614	INV (E): 179' OF (12") A2000 PVC INV ELEV: 923.45 INV (W): 199' OF (12") A2000 PVC INV ELEV: 923.45
DS-13 Type B C.O.	STA: 13+93.31 OFF: 110.00R RIM: 929.00	N: 579027.2273 E: 1641167.8056	INV (W): 179' OF (12") A2000 PVC INV ELEV: 925.50
DS-14 24" CMP FES	STA: 0+82.89 OFF: 48.86R RIM: 893.50	N: 580177.9482 E: 1641036.3945	
DS-15 SW-501	STA: 1+05.36 OFF: 13.00R RIM: 900.75	N: 580136.6190 E: 1641045.9851	INV (SE): 36' OF (18") A2000 PVC INV ELEV: 896.33 INV (N): 42' OF (24") A2000 PVC INV ELEV: 893.71
DS-16 SW-501	STA: 1+05.36 OFF: 13.00L RIM: 900.75	N: 580118.3508 E: 1641014.4537	INV (E): 26' OF (18") A2000 PVC INV ELEV: 896.74 INV (W): 26' OF (18") A2000 PVC INV ELEV: 896.69

STORM STRUCTURE TABLE*			
STRUCTURE ID:	STRUCTURE DETAILS:	NORTHING EASTING:	CONNECTED PIPES:
DS-17 18" CMP FES	STA: 0+85.82 OFF: -30.10L RIM: 897.50	N: 580120.2425 E: 1641090.3785	
DS-18 18" CMP FES	STA: 1+72.37 OFF: 106.45L RIM: 895.50	N: 580052.5973 E: 1641139.3709	
DS-19 SW-512	STA: 2+11.72 OFF: -86.14L RIM: 905.50	N: 580016.1414 E: 1641114.2394	INV (S): 76' OF (15") A2000 PVC INV ELEV: 900.99 INV (NE): 44' OF (18") A2000 PVC INV ELEV: 898.85
DS-20 SW-512	STA: 2+87.35 OFF: -90.11L RIM: 905.50	N: 579940.6133 E: 1641108.8192	INV (S): 261' OF (15") A2000 PVC INV ELEV: 902.71 INV (N): 75' OF (15") A2000 PVC INV ELEV: 902.66
DS-21 SW-512	STA: 5+48.80 OFF: -96.05L RIM: 915.00	N: 579680.4506 E: 1641083.4512	INV (S): 132' OF (12") A2000 PVC INV ELEV: 911.27 INV (N): 261' OF (15") A2000 PVC INV ELEV: 911.07
DS-22 Type B C.O.	STA: 6+66.13 OFF: -132.44L RIM: 919.46	N: 579548.9156 E: 1641093.5209	INV (S): 23' OF (12") A2000 PVC INV ELEV: 914.75 INV (N): 75' OF (12") A2000 PVC INV ELEV: 914.70
DS-23 12" CMP FES	STA: 6+88.52 OFF: -130.69L RIM: 915.00	N: 579526.7624 E: 1641086.7711	
DS-24 15" CMP FES	STA: 8+58.43 OFF: -125.88L RIM: 917.50	N: 579357.9808 E: 1641040.0140	
DS-25 12" CMP FES	STA: 9+32.76 OFF: -133.17L RIM: 915.50	N: 579282.2179 E: 1641026.4688	
DS-26 SW-512	STA: 11+87.91 OFF: -91.04L RIM: 926.20	N: 579238.9225 E: 1640973.4060	INV (S): 78' OF (12") A2000 PVC INV ELEV: 921.92 INV (NE): 68' OF (12") A2000 PVC INV ELEV: 919.16
DS-27 SW-501	STA: 11+84.26 OFF: -13.00L RIM: 928.42	N: 579161.1859 E: 1640865.8038	INV (SW): 37' OF (12") A2000 PVC INV ELEV: 924.58 INV (N): 75' OF (12") A2000 PVC INV ELEV: 924.58
DS-28 SW-501	STA: 11+57.50 OFF: 13.00R RIM: 928.22	N: 579136.6478 E: 1640937.4961	INV (NE): 37' OF (12") A2000 PVC INV ELEV: 925.00
DS-71 SW-501	STA: 4+38.92 OFF: 13.02R RIM: 912.60	N: 579803.2993 E: 1640987.1292	INV (SE): 35' OF (12") A2000 PVC INV ELEV: 909.66 INV (W): 105' OF (12") A2000 PVC INV ELEV: 909.66
DS-72 SW-501	STA: 4+62.16 OFF: -13.00L RIM: 913.34	N: 579776.9515 E: 1641010.0150	INV (NW): 35' OF (12") A2000 PVC INV ELEV: 910.50
DS-241 SW-512	STA: 8+58.06 OFF: -91.84L RIM: 925.00	N: 579367.1849 E: 1641007.2836	INV (W): 79' OF (12") A2000 PVC INV ELEV: 919.99 INV (E): 34' OF (15") A2000 PVC INV ELEV: 917.70
DS-242 SW-505	STA: 8+57.16 OFF: -13.00L RIM: 925.66	N: 579388.5510 E: 1640931.3466	INV (NW): 36' OF (12") A2000 PVC INV ELEV: 921.64 INV (E): 79' OF (12") A2000 PVC INV ELEV: 921.59

STORM PIPE TABLE				
NAME	SIZE	LENGTH	SLOPE	MATERIAL
DP-1	54"	121.65'	0.37%	RCP
DP-2	12"	12.00'	0.83%	RCP
DP-3	24"	75.79'	1.61%	RCP
DP-4	36"	63.16'	0.49%	A2000 PVC
DP-5	30"	240.46'	2.94%	A2000 PVC
DP-6	30"	249.59'	1.16%	A2000 PVC
DP-7	24"	246.72'	2.68%	A2000 PVC
DP-8	24"	150.09'	2.35%	A2000 PVC
DP-9	12"	151.71'	1.02%	A2000 PVC
DP-10	12"	199.00'	1.31%	A2000 PVC
DP-11	12"	179.00'	1.12%	A2000 PVC
DP-12	24"	42.43'	0.49%	A2000 PVC
DP-13	18"	26.00'	1.38%	A2000 PVC
DP-14	18"	25.96'	2.93%	A2000 PVC
DP-15	18"	44.28'	0.79%	A2000 PVC
DP-16	15"	75.74'	2.21%	A2000 PVC
DP-17	15"	261.38'	3.20%	A2000 PVC
DP-18	12"	131.92'	2.60%	A2000 PVC
DP-19	12"	23.16'	1.08%	A2000 PVC
DP-20	12"	68.48'	0.96%	A2000 PVC
DP-21	12"	78.13'	3.40%	A2000 PVC
DP-22	12"	37.31'	0.99%	A2000 PVC
DP-71	12"	105.05'	3.20%	A2000 PVC
DP-72	12"	34.89'	2.41%	A2000 PVC
DP-242	12"	78.89'	2.03%	A2000 PVC
DP-243	12"	36.35'	0.99%	A2000 PVC

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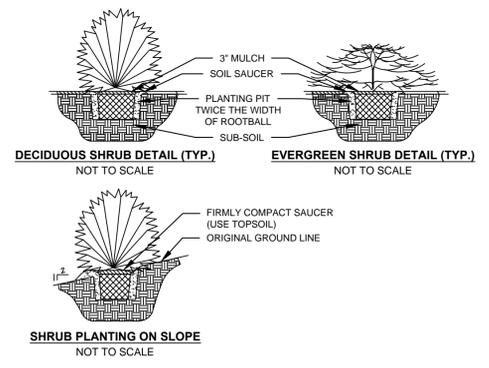
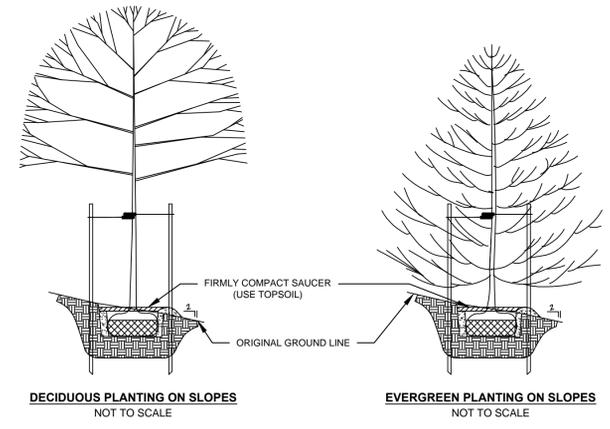
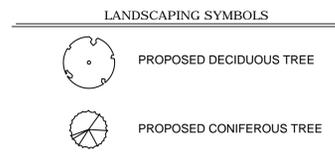


PROJECT BENCH MARKS
 BM ELEV = 908.05
 1/2" IR 17' S CL OAKWOOD, 75' C CL 56' LT
 @ E EDGE DRIVE FOR WATER DEPT.

PROJECT LANDSCAPE NOTES

1. ALL LANDSCAPING SHALL COMPLY WITH THE PLEASANT HILL ZONING ORDINANCE, CHAPTER 168, AS APPLICABLE FOR R-3A ZONING.
2. OPEN SPACE REQUIREMENT = 20% OF 10.87 ACRES = 2.17 ACRES
 OPEN SPACE PROVIDED = 5.48 ACRES = 50%
3. APPROXIMATELY 0.27 ACRES OF EXISTING TREE AREA, AS INDICATED ON THE LANDSCAPE PLAN, WILL BE REMOVED AS PART OF THIS PROJECT.
4. THE TREE PLANTING REQUIREMENT = 1 TREE PER 50 FT OF PUBLIC STREET FRONTAGE = 1,392 FT/50 = 28 TREES.
 TREES PROVIDED ALONG PUBLIC STREET FRONTAGE (PRAIRIE CREEK DRIVE) = 14 DECIDUOUS + 15 CONIFEROUS = 29 TREES.
 TREES PROVIDED WITHIN THE VILLAS AT PRAIRIE CREEK SITE (not including Prairie Creek Drive street frontage) = 34 DECIDUOUS + 29 CONIFEROUS = 63 TREES.
 TOTAL TREES PROVIDED = 92 TREES.
5. CRABAPPLE AND SERVICEBERRY SHOULD NOT BE USED TOWARD THE STREET FRONTAGE REQUIRED PLANTINGS. THEY ARE ACCEPTABLE IN AREAS NOT ALONG STREET FRONTAGES OR AS ADDITIONAL PLANTINGS IN FRONT YARD AREAS.
6. A COMBINATION OF TWO OR MORE OF THE FOLLOWING TREE TYPES WILL BE UTILIZED:

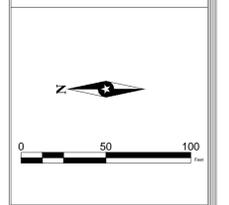
DECIDUOUS	CONIFEROUS
AUTUMN FLAME	COLORADO GREEN SPRUCE
AUTUMN BLAZE	WHITE PINE
SUGAR MAPLE	
SHAMROCK LINDEN	
HONEY LOCUST	
PRAIRIE FIRE CRABAPPLE	
AUTUMN BRILLIANCE SERVICEBERRY	



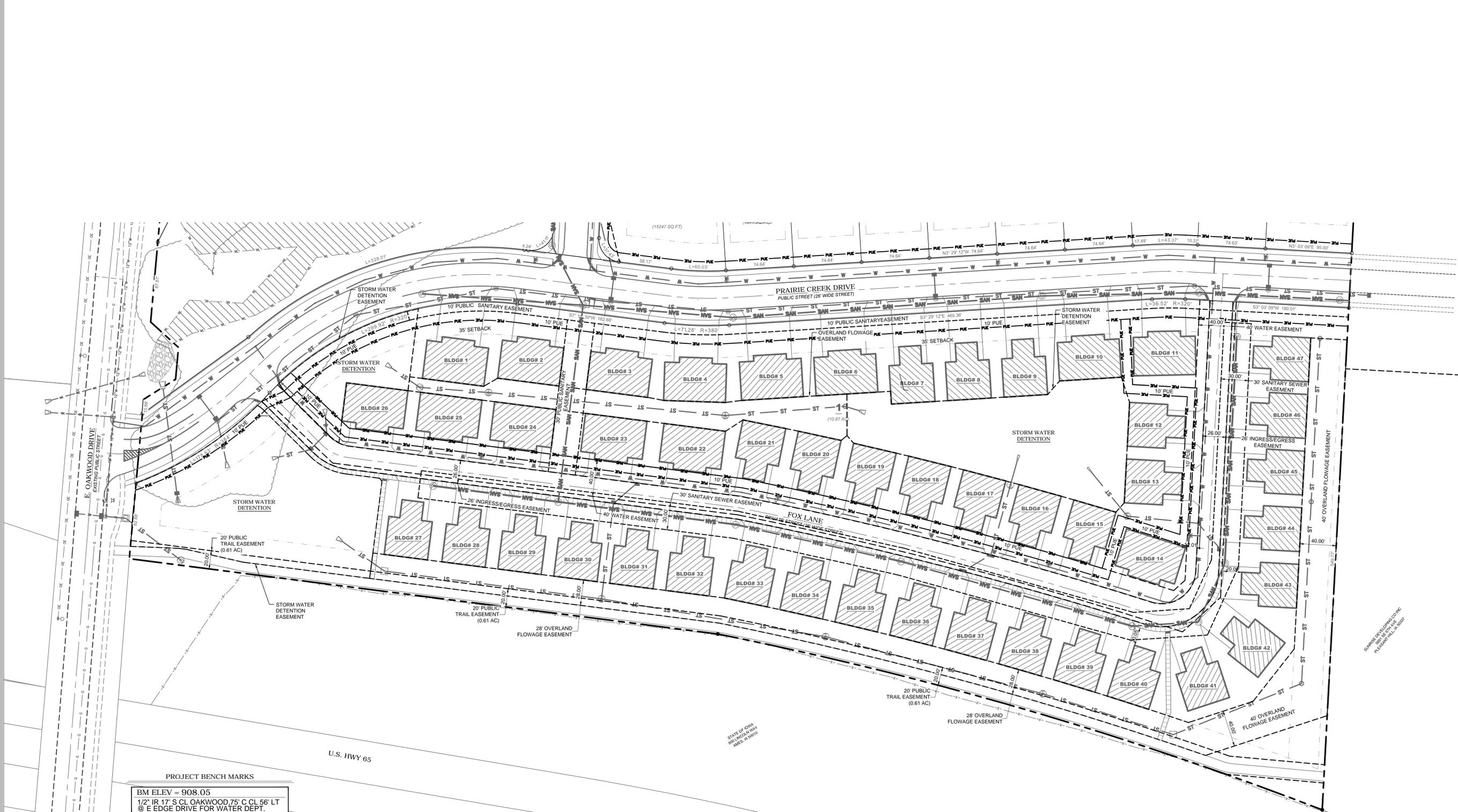
VILLAS AT PRAIRIE CREEK - SITE PLAN
 LANDSCAPE PLAN
 PROJECT: LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
 PREPARED FOR: BLOOMFIELD ACRES, LLC
 DRAWN BY: LCS
 CHECKED BY: DDD
 DATE OF DRAWING: 2/13/2016
 JOB NO.: 15306
 DRAWING NO.: 15-943

REVISIONS

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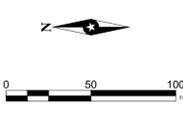


VILLAS AT PRAIRIE CREEK - SITE PLAN
EASEMENT PLAN

PROJECT: LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
PREPARED FOR: BLOOMFIELD ACRES, LLC
DRAWN BY: LCS
CHECKED BY: DDD
DATE OF DRAWING: 2/23/2016
JOB NO.: 15306
DRAWING NO.: 15-943

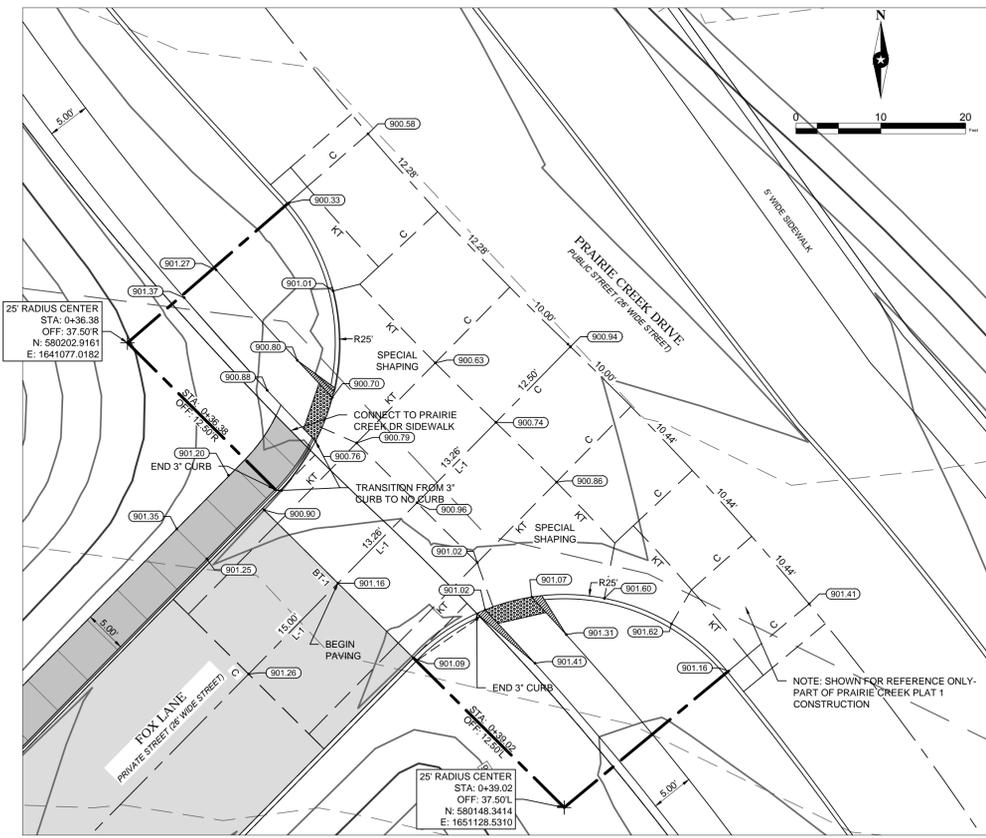
REVISIONS

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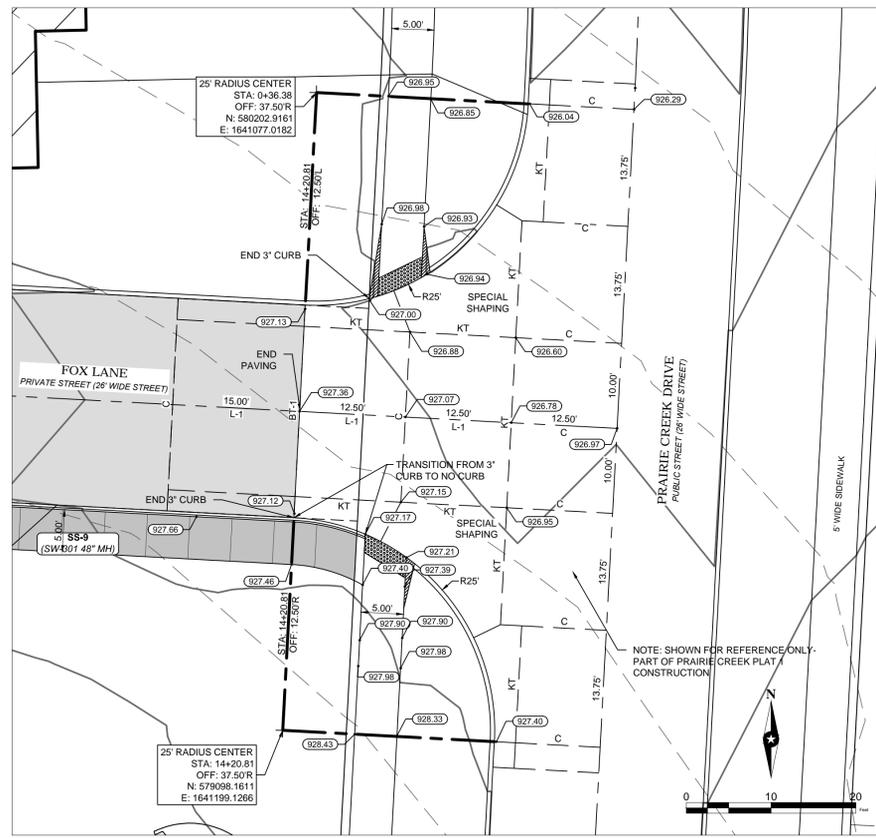


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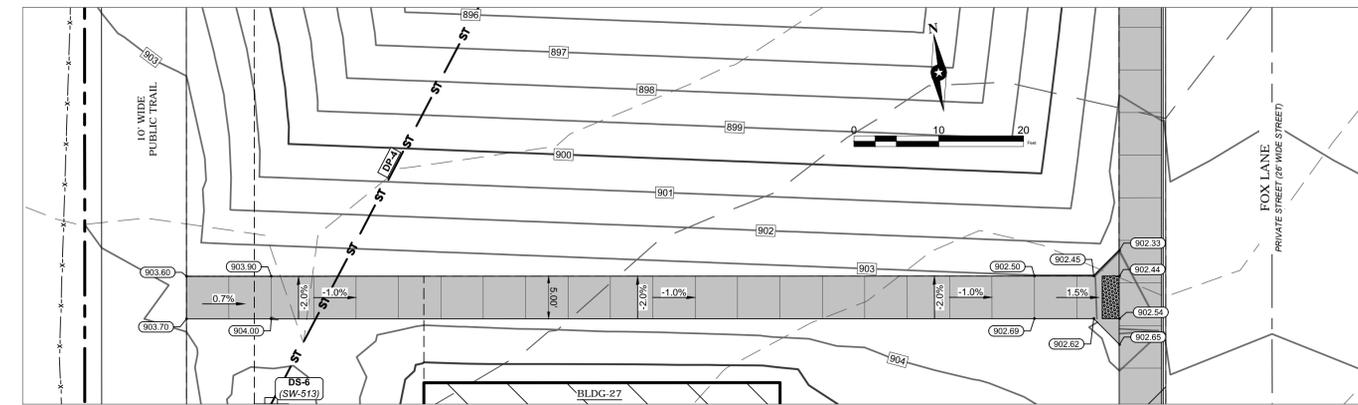
PROJECT BENCHMARKS
BM ELEV = 908.05
1/2" IR 17' S CL OAKWOOD 75' C CL 56' LT
@ E EDGE DRIVE FOR WATER DEPT.



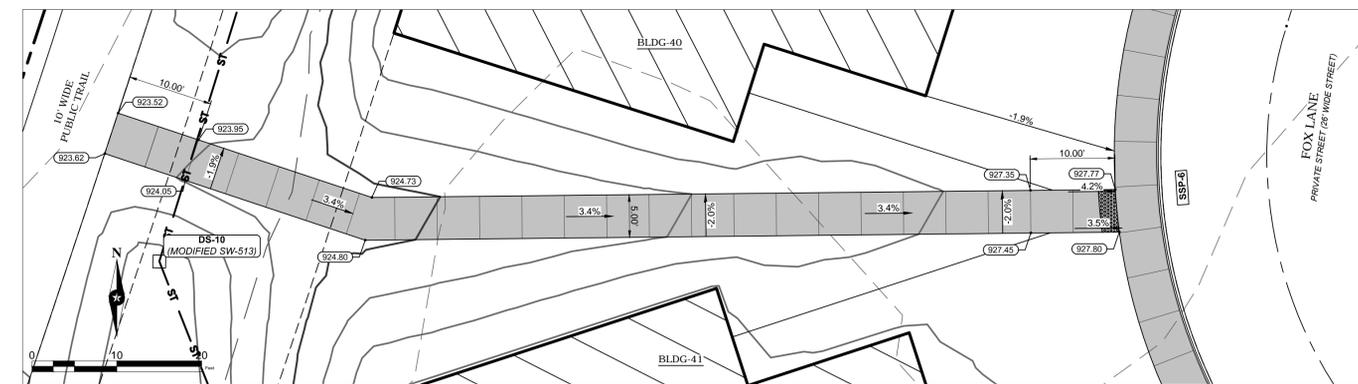
NORTH INTERSECTION DETAIL
FOX LANE AND PRAIRIE CREEK DRIVE



SOUTH INTERSECTION DETAIL
FOX LANE AND PRAIRIE CREEK DRIVE



NORTH TRAIL CONNECTION DETAIL



SOUTH TRAIL CONNECTION DETAIL

VILLAS AT PRAIRIE CREEK - SITE PLAN
PROJECT DETAILS
LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
PREPARED FOR
BLOOMFIELD ACRES, LLC

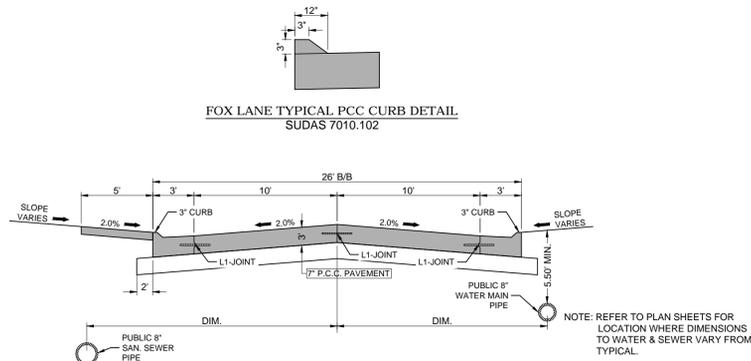
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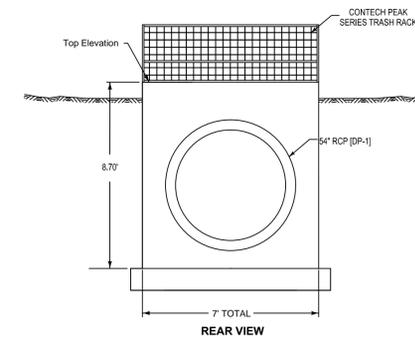
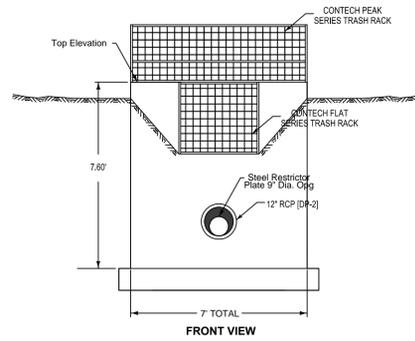
ABACI CONSULTING, INC.
CIVIL ENGINEERING - LAND SURVEYING
101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048

DRAWN BY: LCS
CHECKED BY: DDD
DATE OF DRAWING: 2/23/2016
JOB NO.: 15306
DRAWING NO.: 15-943

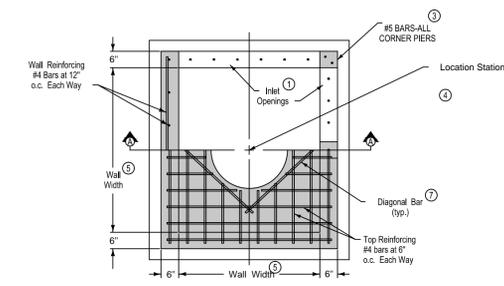
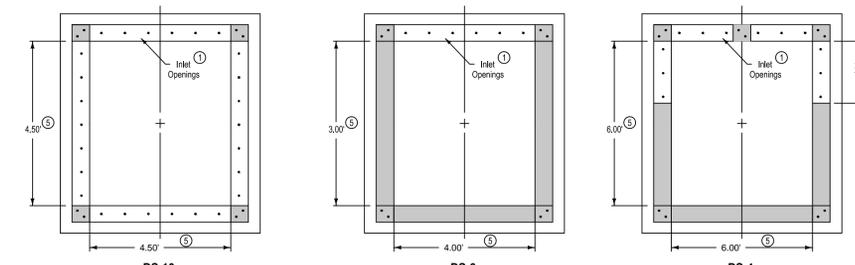
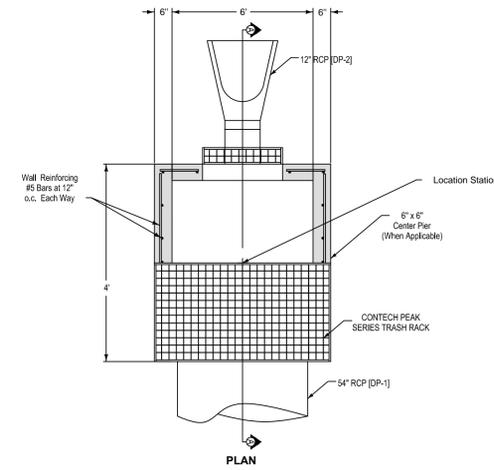
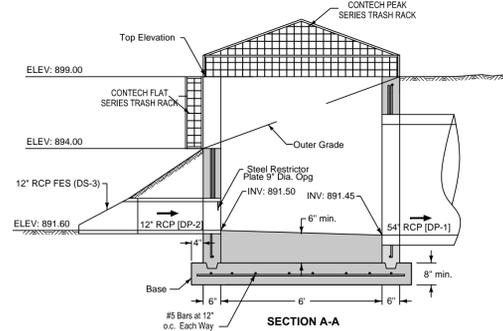
FOX LANE TYPICAL PCC CURB DETAIL
SUDAS 7010.102



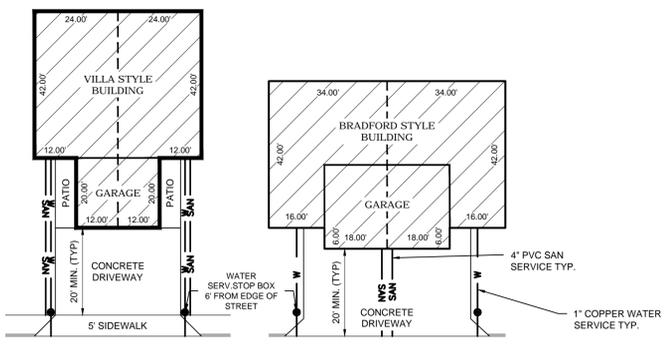
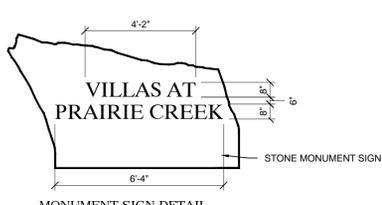
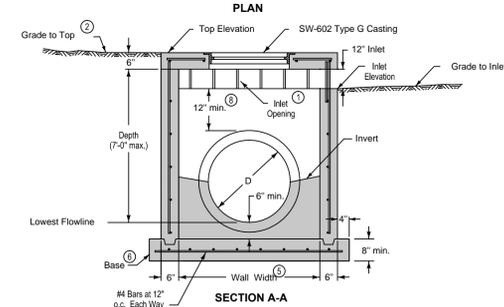
FOX LANE TYPICAL CROSS SECTION
(PRIVATE STREET)



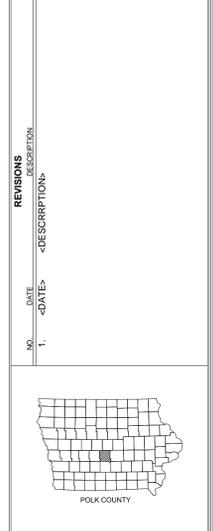
- Cast-in-place base shown. If base is precast integral with walls, the footprint of base is not required to extend beyond the outer edge of the walls.
- Install four #5 diagonal bars at all pipe openings.



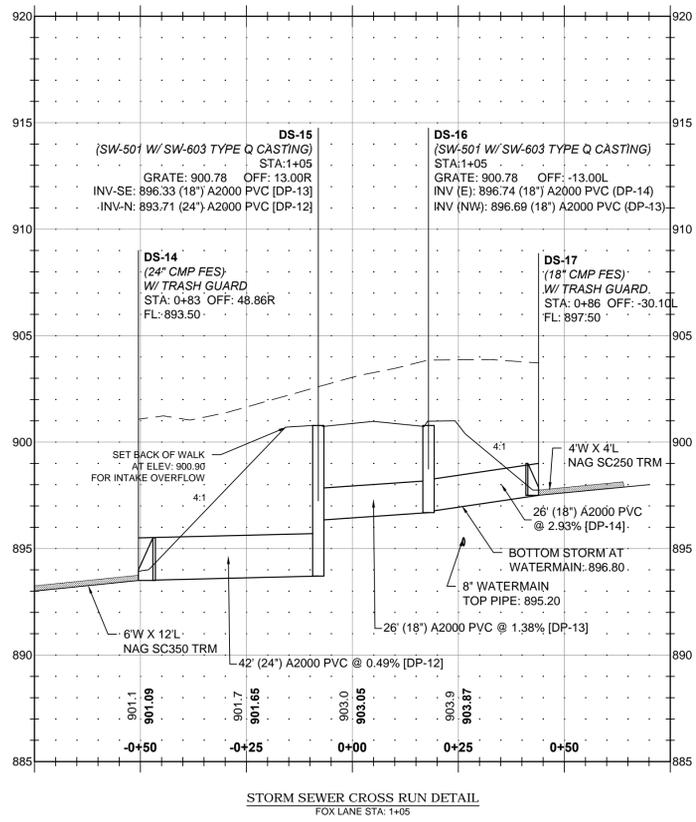
- Construct inlet openings with 15-inch #4 epoxy-coated bars at 8 inches on center. Embed bars a minimum of 3 inches into walls and top at all openings.
- Grade to inlet elevation on open sides. Grade to top elevation on closed sides.
- Corner pier required between openings of two adjacent walls. Extend wall reinforcing vertically through pier. Install one additional 15-inch #5 bar in pier.
- Center pier required at center of any inlet opening with length of 5 feet or greater. Extend wall reinforcing vertically through pier. Install one additional 15-inch #4 bar in pier.
- Wall widths vary with pipe diameter. Provide 6 inches of wall width (minimum) each side of pipe opening. Minimum wall width is 36 inches. Maximum wall width is 72 inches.
- Cast-in-place base shown. If base is precast integral with walls, the footprint of base is not required to extend beyond the outer edge of the walls.
- Install four #4 diagonal bars at all pipe openings.
- 12" minimum wall height above all pipes.



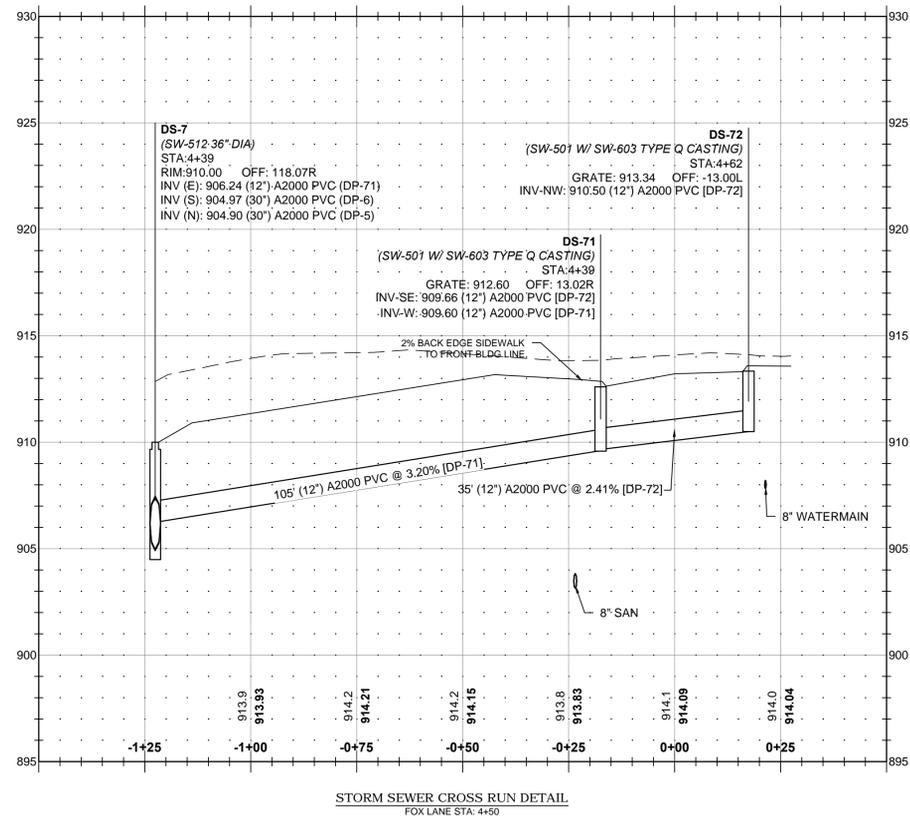
VILLAS AT PRAIRIE CREEK - SITE PLAN
TYPICAL DETAILS
PROJECT: LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
PREPARED FOR: BLOOMFIELD ACRES, LLC
DRAWN BY: LCS
CHECKED BY: DDD
DATE OF DRAWING: 2/23/2016
JOB NO: 15306
DRAWING NO: 15-943



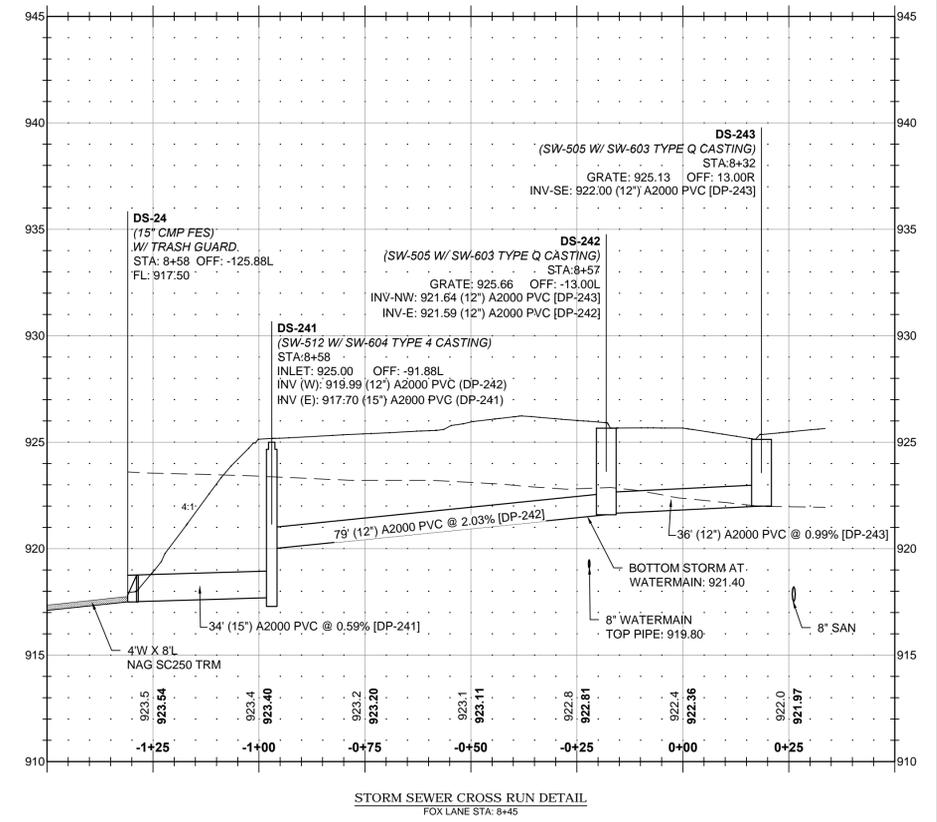
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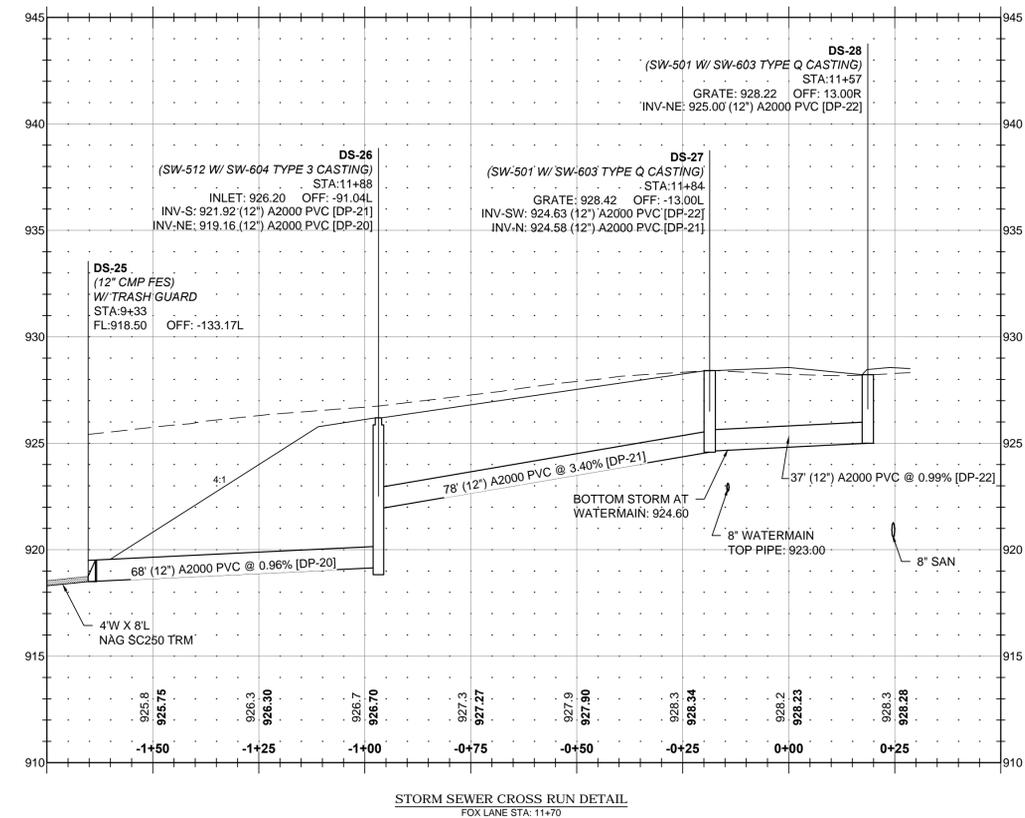
STORM SEWER CROSS RUN DETAIL
FOX LANE STA: 1+05



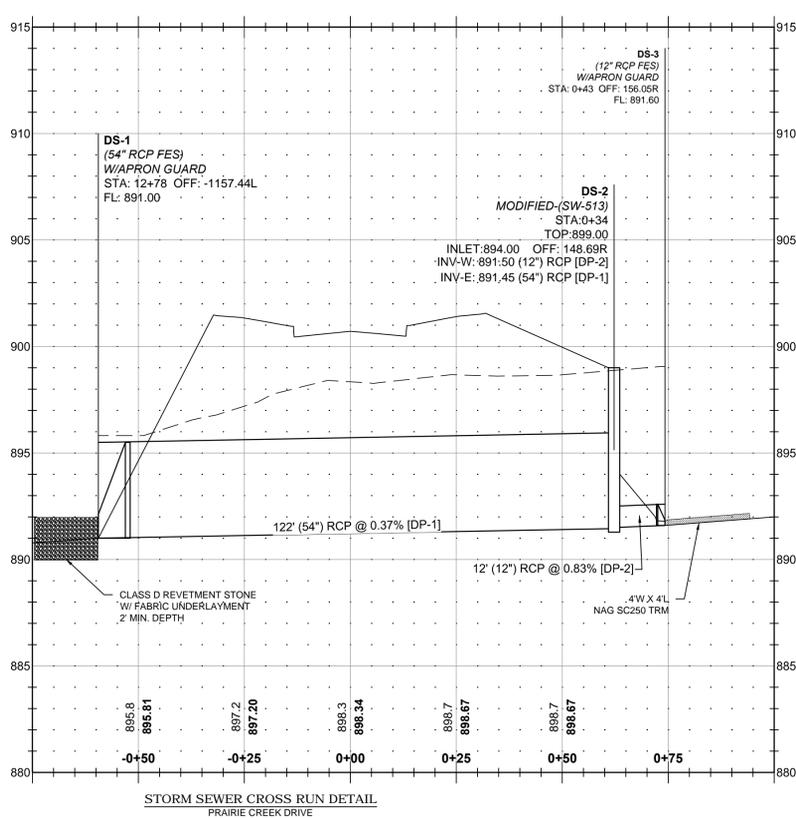
STORM SEWER CROSS RUN DETAIL
FOX LANE STA: 4+50



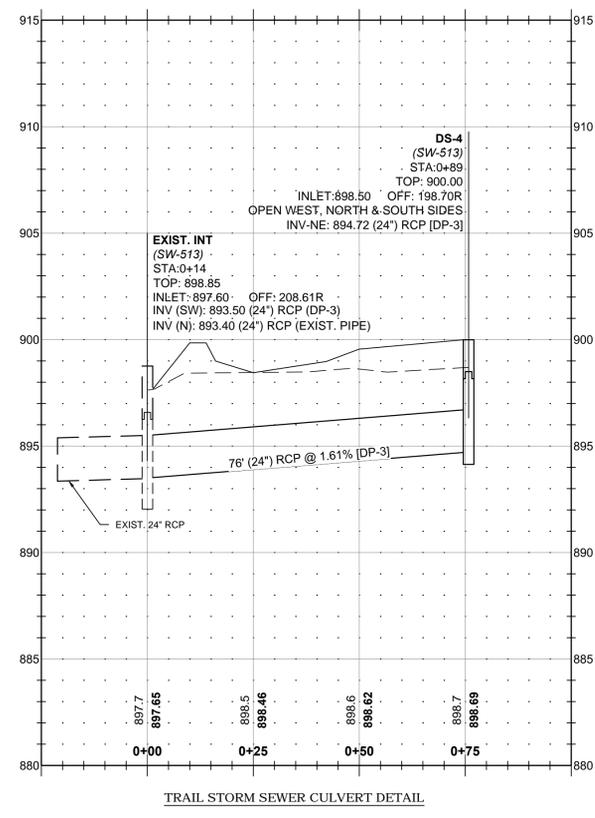
STORM SEWER CROSS RUN DETAIL
FOX LANE STA: 8+45



STORM SEWER CROSS RUN DETAIL
FOX LANE STA: 11+70



STORM SEWER CROSS RUN DETAIL
PRAIRIE CREEK DRIVE



TRAIL STORM SEWER CULVERT DETAIL

VILLAS AT PRAIRIE CREEK - SITE PLAN
FOX LANE STORM SEWER CROSS RUN DETAILS
PROJECT
LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
PREPARED FOR
BLOOMFIELD ACRES, LLC
DRAWN BY: LCS
CHECKED BY: DDD
DATE OF DRAWING: 2/15/2016
JOB NO: 15306
DRAWING NO: 15-943

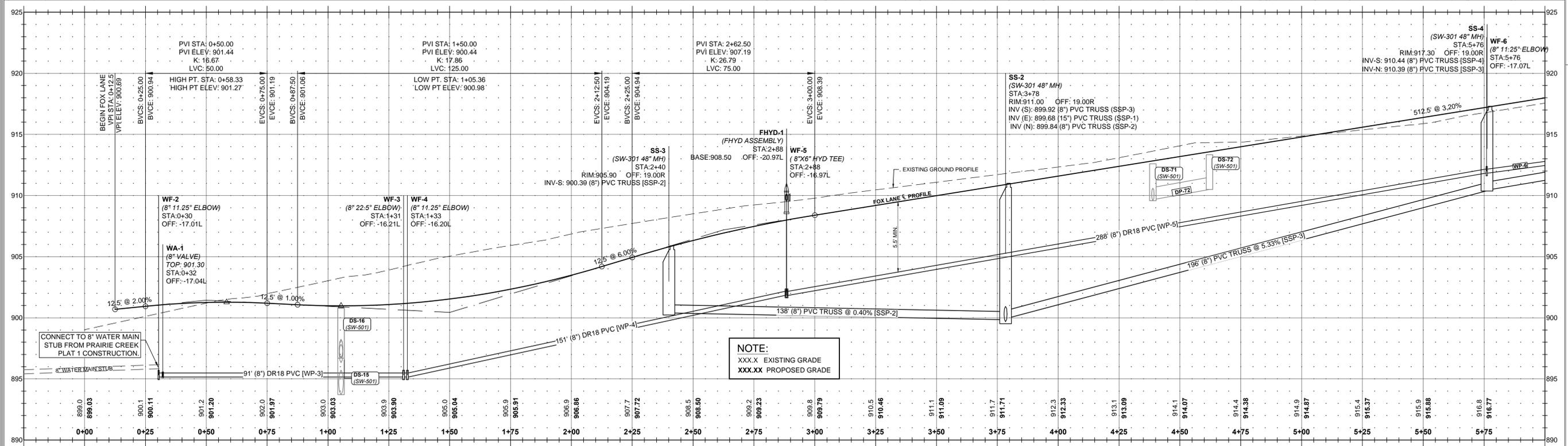
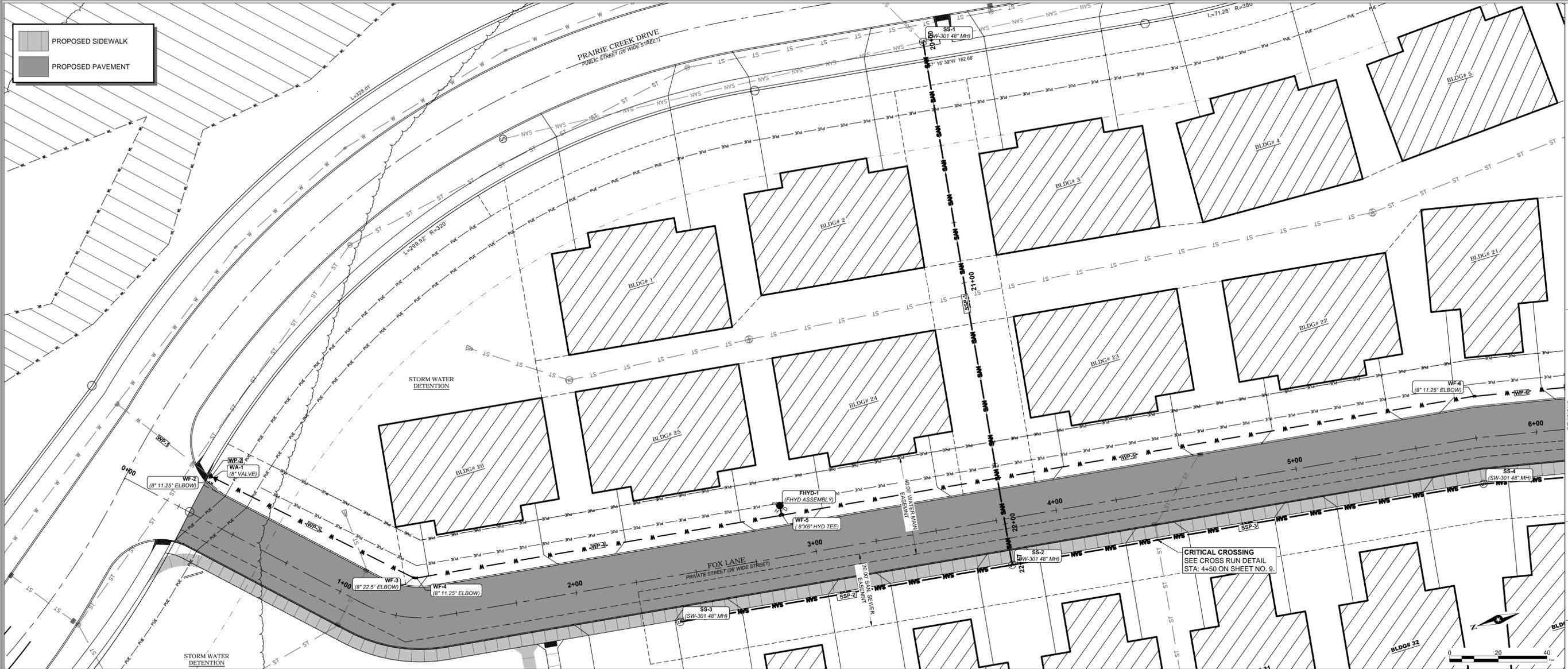
REVISIONS

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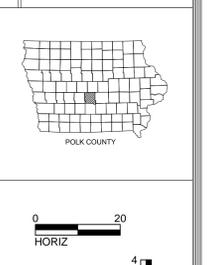
PROPOSED SIDEWALK
 PROPOSED PAVEMENT



VILLAS AT PRAIRIE CREEK - SITE PLAN
 PAVING, SANITARY AND WATER PLAN & PROFILE
 PROJECT: LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
 PREPARED FOR: BLOOMFIELD ACRES, LLC
 DRAWN BY: LCS
 CHECKED BY: DDD
 DATE OF DRAWING: 2/23/2016
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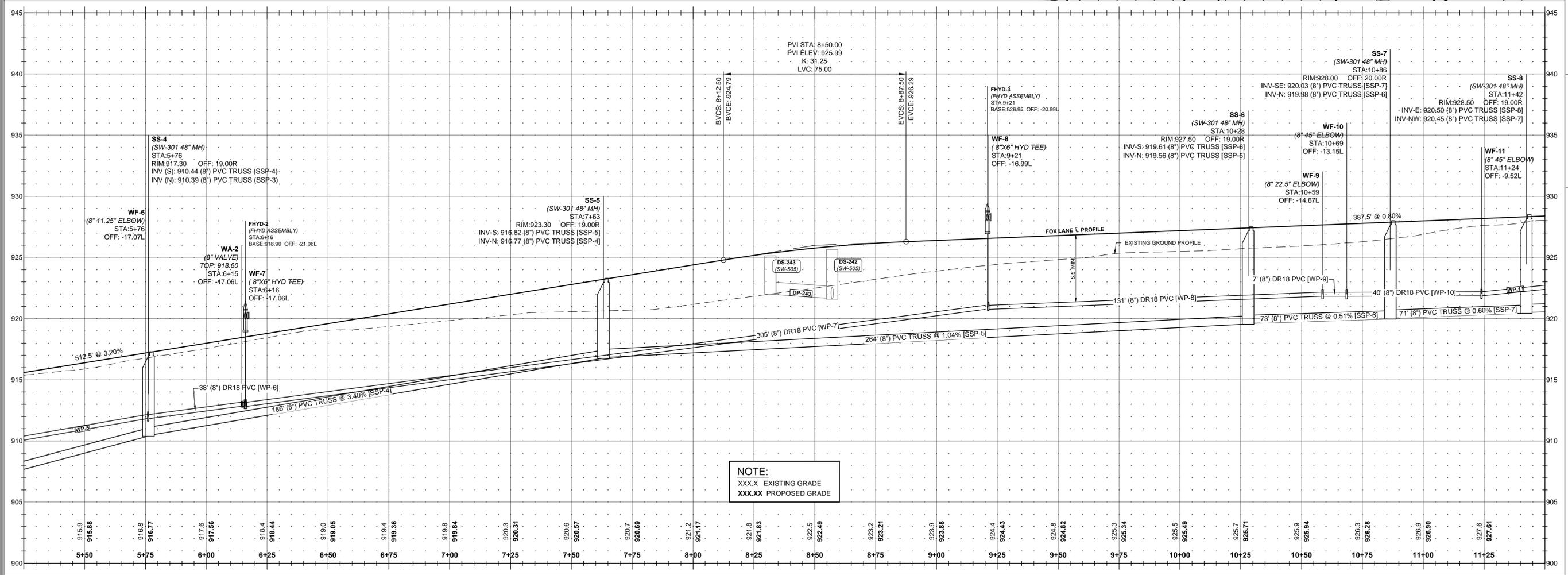
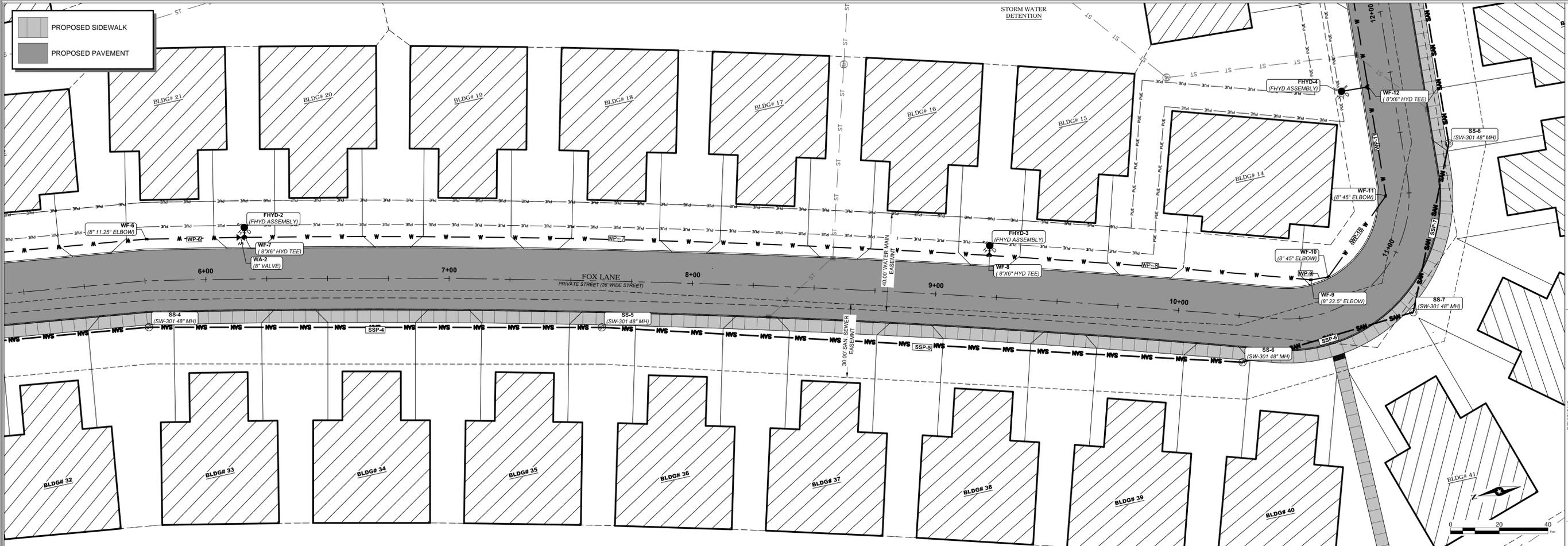
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PROFILE SCALES:
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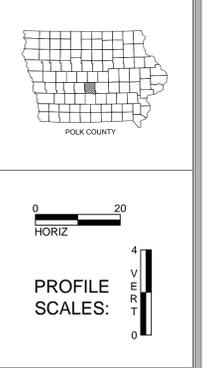
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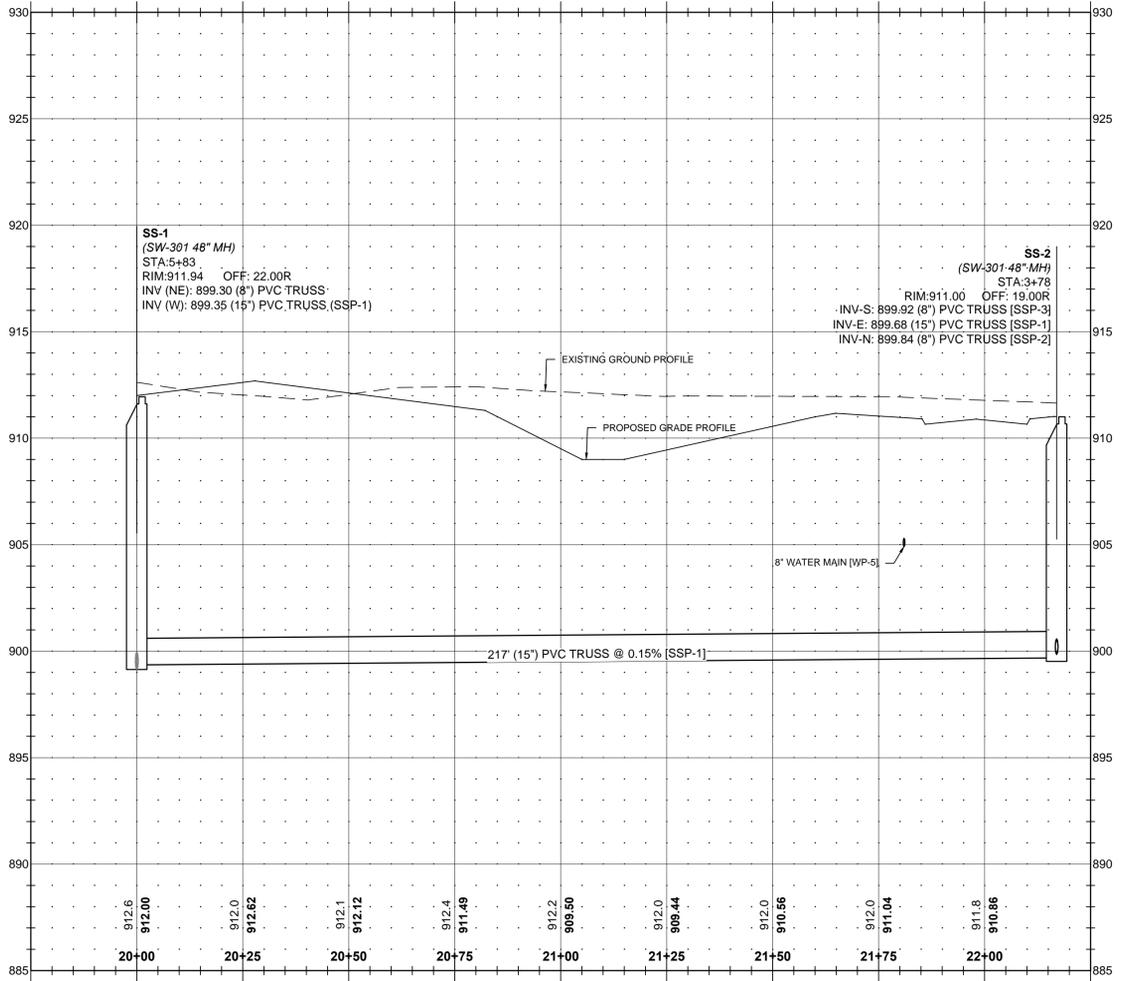
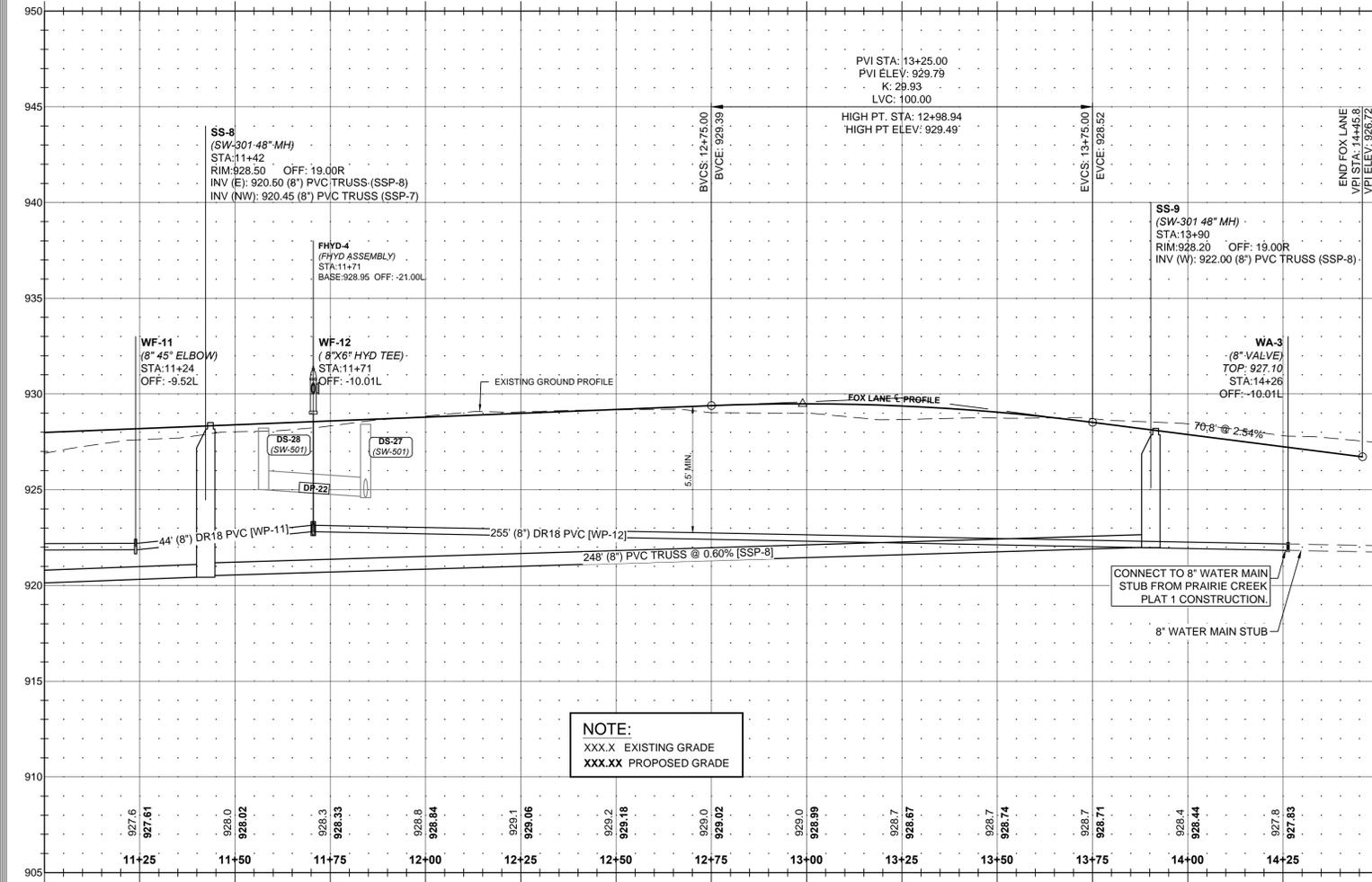
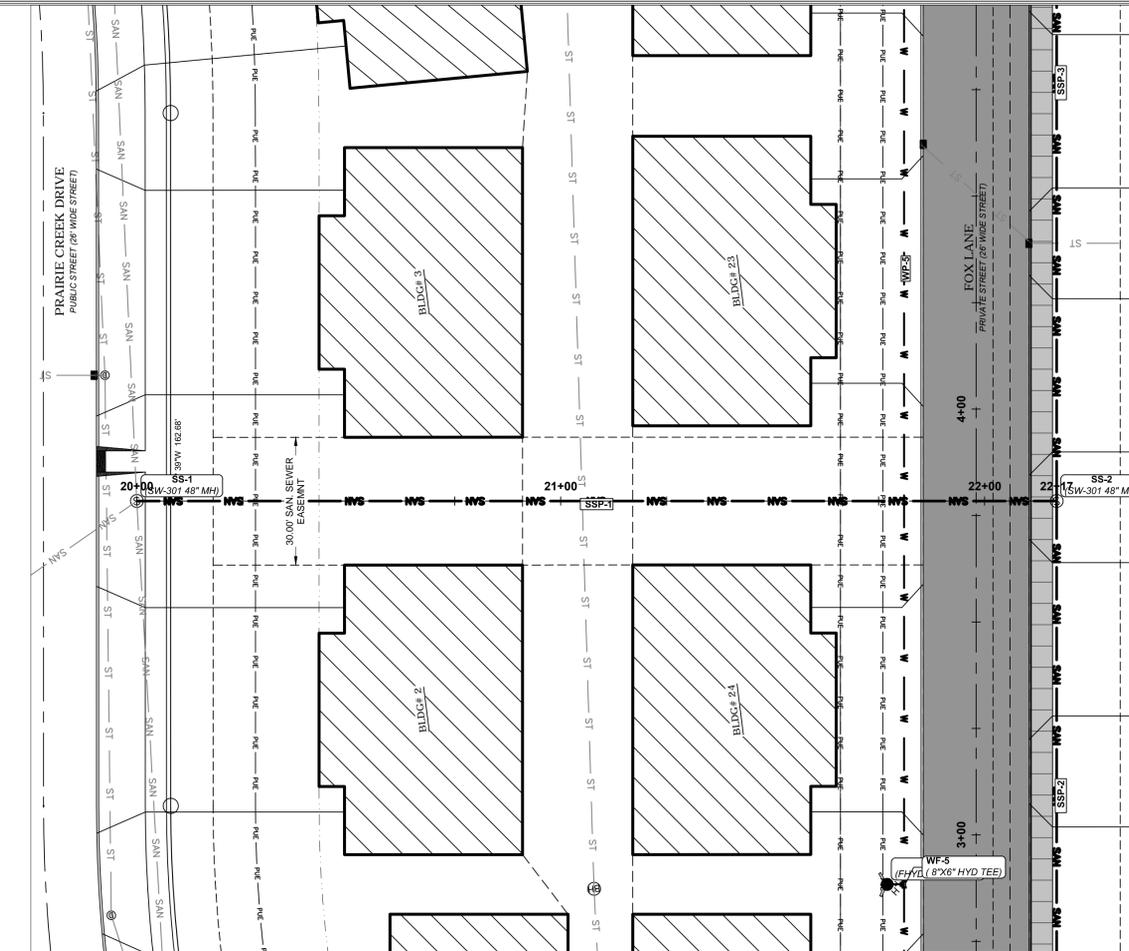
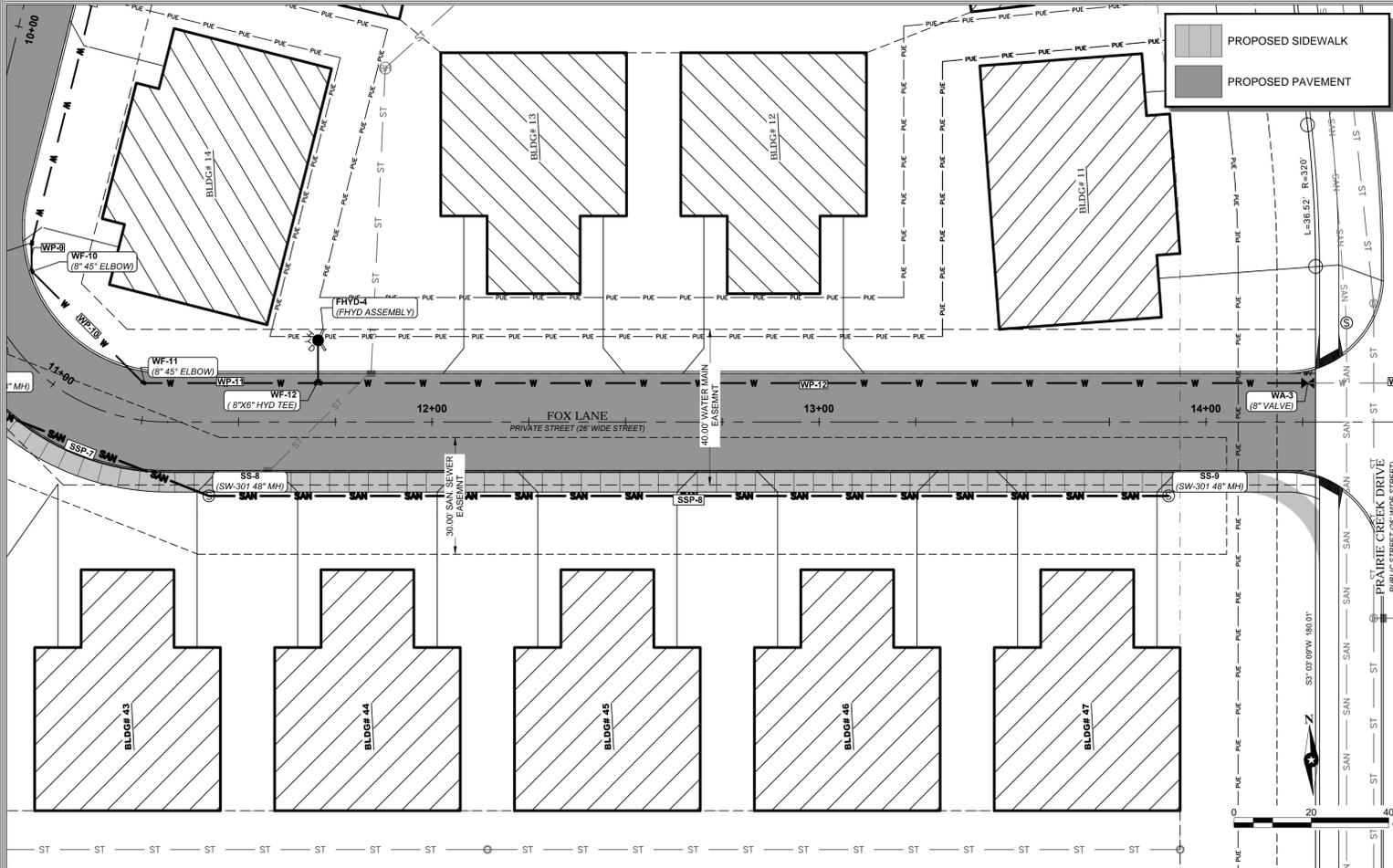
NOTE:
 XXX.X EXISTING GRADE
 XXX.XX PROPOSED GRADE

VILLAS AT PRAIRIE CREEK - SITE PLAN
 PAVING, SANITARY AND WATER PLAN & PROFILE
 PROJECT: LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
 PREPARED FOR: BLOOMFIELD ACRES, LLC
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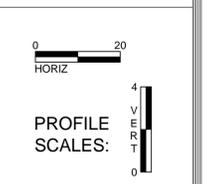
ABACI CONSULTING, INC.
 CIVIL ENGINEERING - LAND SURVEYING
 101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048



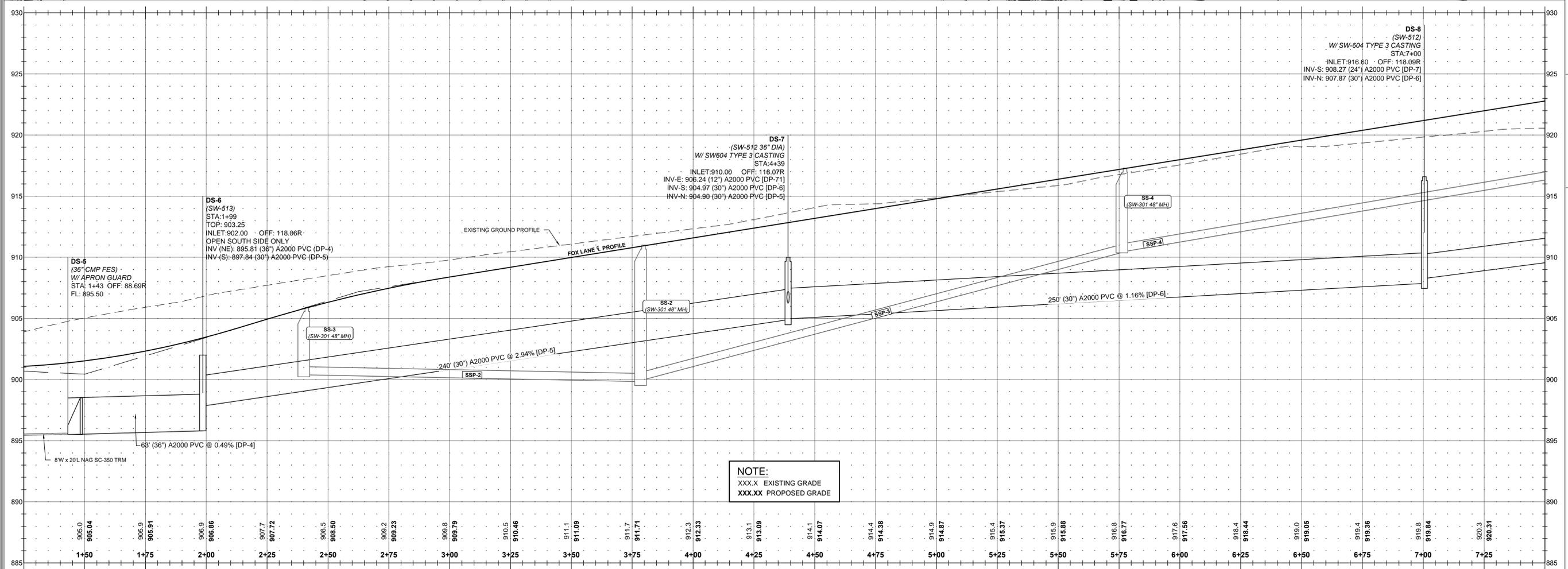
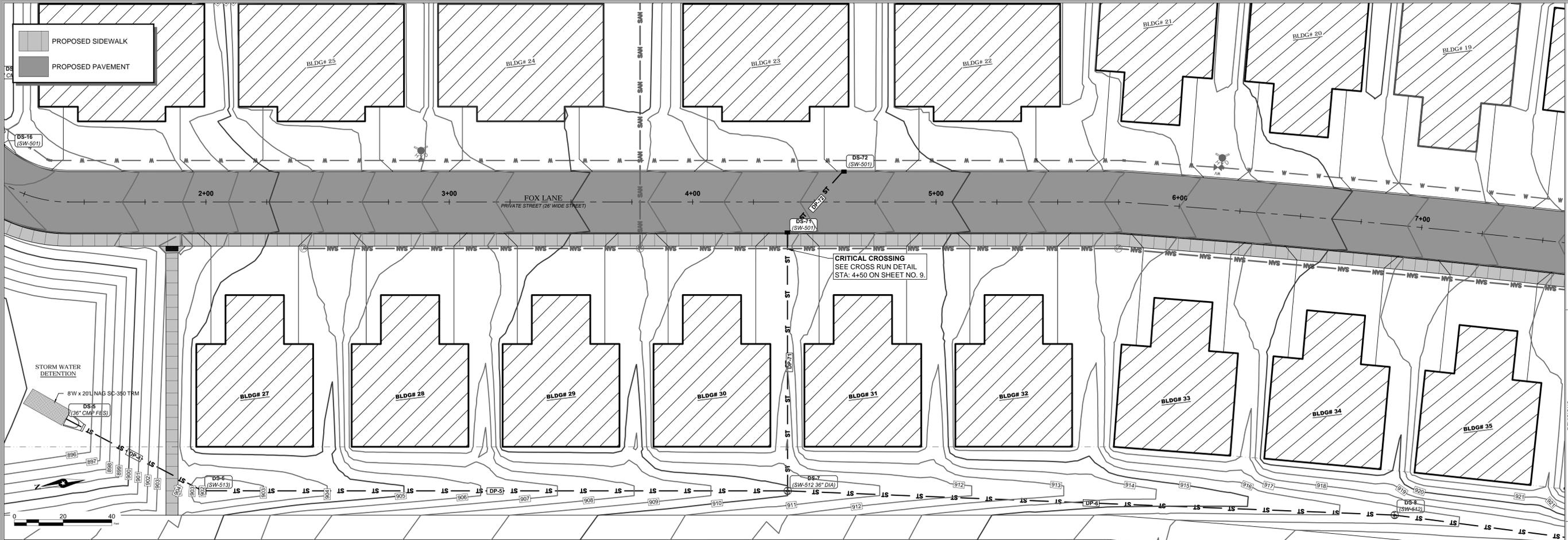
VILLAS AT PRAIRIE CREEK - SITE PLAN
 PAVING, SANITARY AND WATER PLAN & PROFILE
 PROJECT
 LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
 PREPARED FOR
 BLOOMFIELD ACRES, LLC
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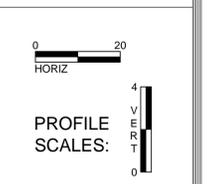
VILLAS AT PRAIRIE CREEK - SITE PLAN
STORM SEWER PLAN & PROFILE

PROJECT: VILLAS AT PRAIRIE CREEK
PREPARED FOR: BLOOMFIELD ACRES, LLC

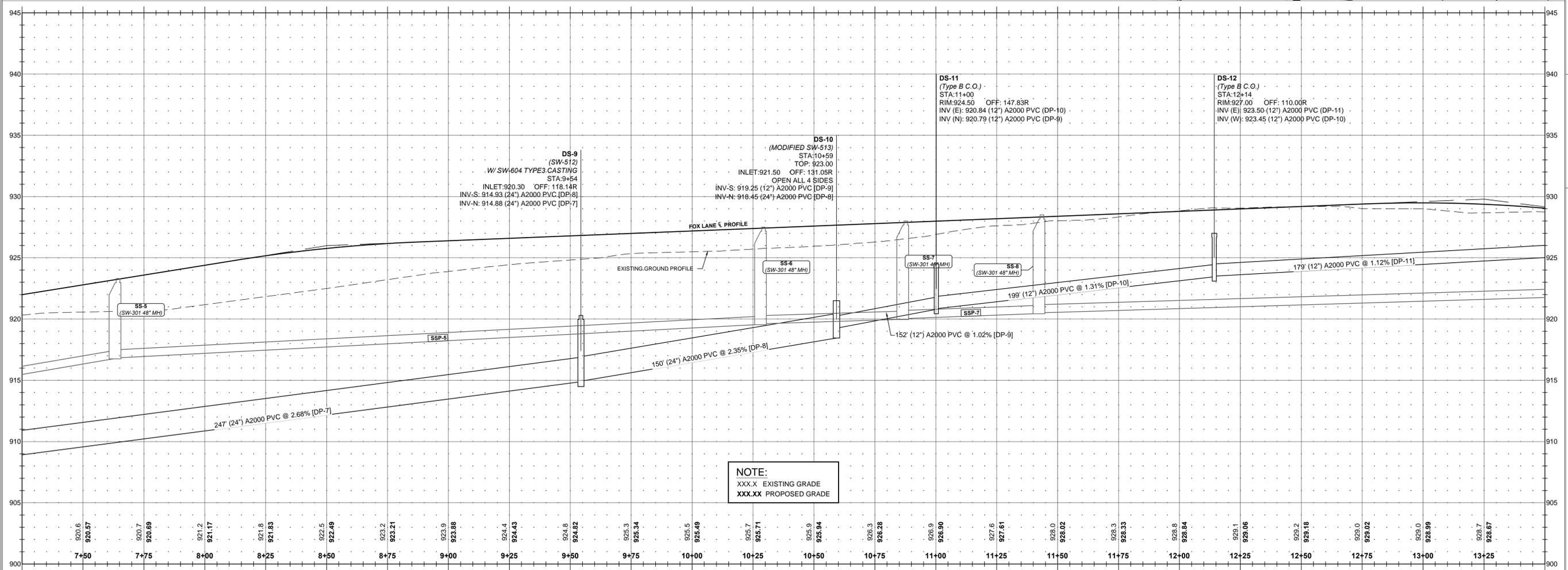
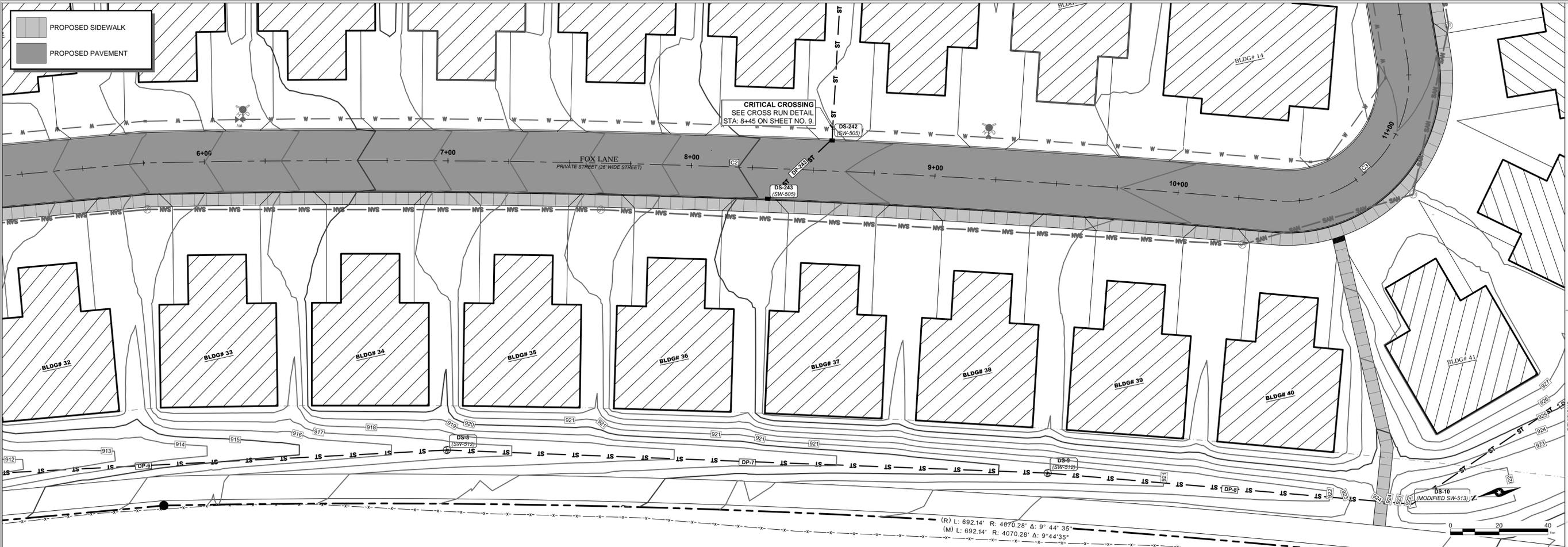
DATE OF DRAWING: 2/23/2016
JOB NO.: 15306
DRAWING NO.: 15-943

CHECKED BY: LCS
DRAWN BY: LCS

NO.	DATE	DESCRIPTION
1.		DESCRIPTION



ABACI CONSULTING, INC.
CIVIL ENGINEERING - LAND SURVEYING
101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048

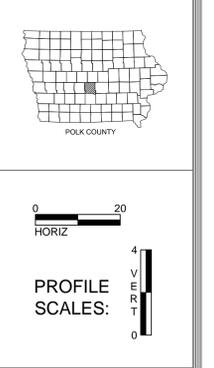


VILLAS AT PRAIRIE CREEK - SITE PLAN
STORM SEWER PLAN & PROFILE

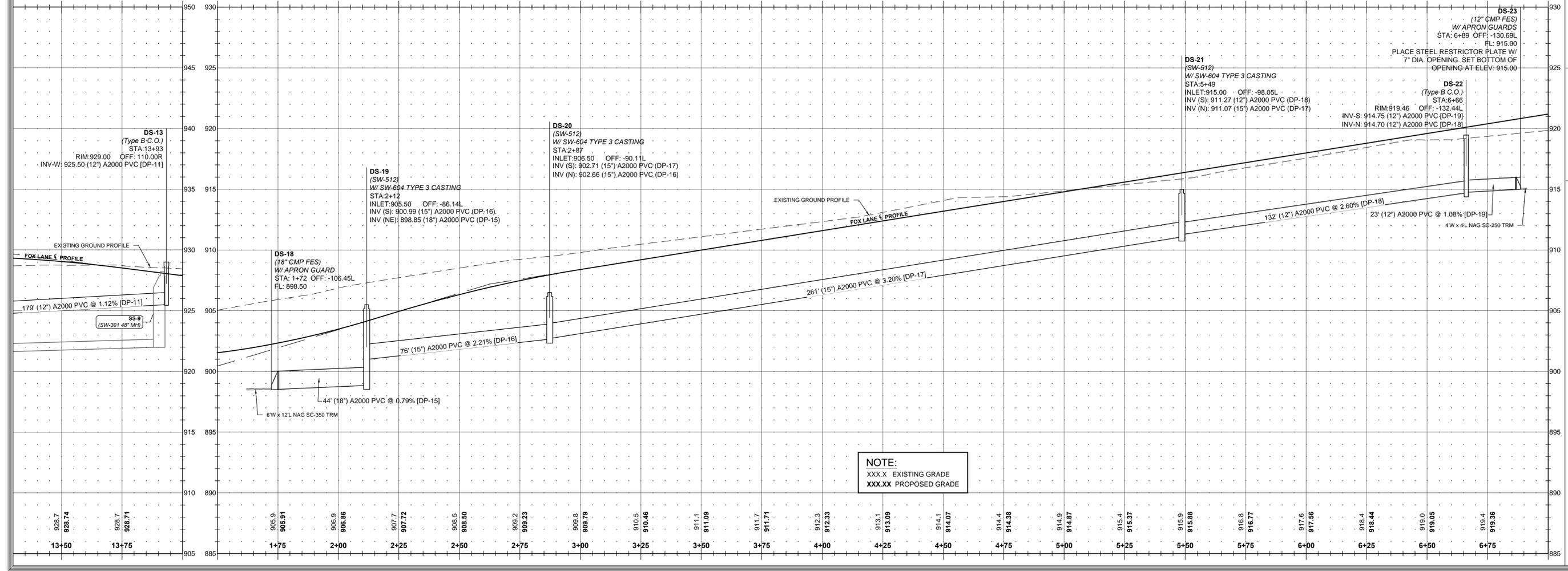
PROJECT: LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
PREPARED FOR: BLOOMFIELD ACRES, LLC

DRAWN BY: LCS
CHECKED BY: DDD
DATE OF DRAWING: 2/3/2016
JOB NO: 15306
DRAWING NO: 15-943

NO.	DATE	DESCRIPTION
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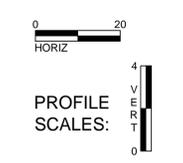


ABACI CONSULTING, INC.
CIVIL ENGINEERING - LAND SURVEYING
101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048



PROPOSED SIDEWALK
 PROPOSED PAVEMENT

VILLAS AT PRAIRIE CREEK - SITE PLAN
 STORM SEWER PLAN & PROFILE
 PROJECT: LOT 1, PRAIRIE CREEK PLAT 1, PLEASANT HILL, IA
 PREPARED FOR: BLOOMFIELD ACRES, LLC
 DRAWN BY: LCS
 CHECKED BY: DDD
 DATE OF DRAWING: 2/23/2016
 JOB NO: 15306
 DRAWING NO: 15-943



ABACI CONSULTING, INC.
 CIVIL ENGINEERING - LAND SURVEYING
 101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 9, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	MADLINE STURMS, AICP, CPM SENIOR PLANNER
SUBJECT:	CONTRACT FOR ENGINEERING SERVICES PLEASANT HILL BOULEVARD AND VANDALIA ROAD IMPROVEMENTS PROJECT

BACKGROUND:

The City has been working for several years with the City of Des Moines to plan and construct the Southeast Connector. Annually for several years, the two entities have applied for and received funding for the project. Des Moines is now nearing completion of the latest segment extending the roadway to 30th Street. The funding now on hand is a good fit for improvements to Pleasant Hill Boulevard and Vandalia Road in support of the project. The Cities have agreed to direct funding toward this portion and the attached scope of services with the project engineer, Kirkham Michael and Associates has been developed. Following is a resolution approving a contract through final design for the next step of improvements in an amount not to exceed \$340,217.00. When more scheduling information is known, the City will need to return to negotiate a scope of services for engineering construction administration later this year. The project will re-align Pleasant Hill Boulevard and Vandalia Road to eliminate the existing railroad crossings with a single fully controlled crossing. The new roadway will be an urban cross section and be elevated to reduce flooding risk. The section will also be designed with complete street principles and include a traffic signal, lighting package, and some landscaping to reflect the other sections of the Southeast Connector.

ANALYSIS/IMPACT:

The reconstruction of Pleasant Hill Boulevard and Vandalia Road will provide immediate traffic safety and capacity improvements while serving as the next coordinating step in the Southeast Connector project that will link downtown Des Moines with the bypass in Pleasant Hill. The project has been identified as a priority during City Council budgeting and goal setting.

ALTERNATIVES:

Not approve the resolution. However, the project would be delayed or not completed.

FINANCIAL CONSIDERATIONS:

Funding for the design and construction would come from capital improvement project funds and Surface Transportation Project (STP) funds awarded through the Des Moines Area Metropolitan Planning Organization.

RECOMMENDATION:

Consider approval of the attached resolution approving the contract with the Southeast Connector Project Engineer, Kirkham Michael and Associates, for the Pleasant Hill Boulevard and Vandalia Road improvements project.

RESOLUTION #020916-10

**A RESOLUTION APPROVING CONTRACT WITH KIRKHAM MICHAEL & ASSOCIATES FOR
ENGINEERING SERVICES FOR THE PLEASANT HILL BOULEVARD AND VANDALIA ROAD
IMPROVEMENTS PROJECT**

WHEREAS, the Pleasant Hill City Council has identified the need for improvements to Pleasant Hill Boulevard and Vandalia Road; and

WHEREAS, the improvements provide needed immediate traffic capacity and safety benefits while also coordinating with the construction of the Martin Luther King Drive Southeast Connector Project with the City of Des Moines; and

WHEREAS, the Southeast Connector project engineer, Kirkham Michael & Associates, has worked with the City to develop the attached scope of services for design of improvements to Pleasant Hill Boulevard and Vandalia Road in the amount of Snyder and Associates, has prepared the attached contract for engineering services for the project in an amount limit of \$340,217.00; and

WHEREAS, construction engineering administrative services are not included and will be considered at a later date;

THEREFORE, BE IT RESOLVED, that the City Council of Pleasant Hill, Iowa, in Polk County, Iowa, does hereby approve the attached contract with Kirkham Michael and Associates for the Pleasant Hill Boulevard and Vandalia Road Improvements Project

ADOPTED this 9th day of February 2016.

Sara Kurovski, Mayor

ATTEST:

Dena Spooner, City Clerk/Finance Director

AGREEMENT FOR ENGINEERING SERVICES

This Agreement is made and entered into this _____ day of _____, 2016, by and between the City of Pleasant Hill, Iowa, hereinafter referred to as “**Owner**,” and Kirkham Michael, & Associates, Inc. a CONSULTING ENGINEERING corporation, hereinafter referred to as “**Engineer**,” as follows:

The Owner hereby agrees to retain the Engineer, and the Engineer hereby agrees to provide the required professional services; and to furnish the equipment, supplies, or materials necessary to complete the work for the following project:

Pleasant Hill Boulevard and Vandalia Road Improvements, within the City limits of Pleasant Hill, Iowa

1. STANDARD CONDITIONS

“**Kirkham, Michael & Associates, Inc., General Terms and Conditions**,” as attached hereto as Exhibit A and hereinafter referred to as the “Terms and Conditions”, is hereby incorporated into this agreement, with the following exceptions.

- a. Section 7 “LIMITATION of LIABILITY” of the Terms and Conditions is not applicable to this contract, and is hereby eliminated in its entirety, from this agreement.
- b. Section 16 “OWNERSHIP OF DOCUMENTS” of the Terms and Conditions is not applicable to this contract, and is hereby eliminated in its entirety, from this agreement. Section 16 of the base agreement specifies ownership of documents requirements that are applicable to this contract, in lieu of those in Section 16 of the Terms and Conditions.
- c. Section 12 “GOVERNING LAW” of the Terms and Conditions is not applicable to this contract, and is hereby eliminated in its entirety, from this agreement. This agreement shall be governed by and construed in accordance with the laws of the State of Iowa.

2. SCOPE OF SERVICES

Provide Preliminary Design, Final Design, and Construction Services for the Pleasant Hill Boulevard and Vandalia Road Improvements Project within the City limits of Pleasant Hill, Iowa per the attached Exhibit B “Scope of Services”.

3. SCHEDULE

Consultant shall complete the required services as indicated in Exhibit B.

4. COMPENSATION

- A. For full and complete compensation for work, materials, and services furnished for the Scope of services in this Agreement, the Consultant shall be paid for direct time charged to the project at Standard Hourly Rates for each employee Classification plus reimbursable expenses up to a limit of **\$340,217.00**. The Standard Hourly rates are included as part of Exhibit C to this agreement and includes salary, additives, overhead and profit. No additional fees shall be payable for the project, unless specifically agreed by the Owner and Consultant prior to providing said services. A detailed estimate of hours and fee is included as Exhibit C to this Agreement.

(Revised: 08-07-09)



- B. Work items not addressed in the scope of work included in this contract shall be considered extra work, and may be completed if required, at additional cost, to be negotiated at the time the work is found necessary.
- C. The Engineer shall invoice the Owner monthly for services, and any approved amendments to this agreement, based upon services actually completed at the time of the invoice. Final payment shall be due and payable within 30 days of the Owner’s acceptance of Engineer’s submission of final deliverables in accordance with the Scope of Services.
- D. In consideration of said compensation, the Engineer agrees to perform all services, work, and/or provide all materials, supplies, and equipment, and to carry out the provisions of this agreement in a good and workmanlike manner to the satisfaction of the Owner. If the performance of this agreement involves the services of others or the furnishing of equipment, supplies, or materials, the Engineer agrees to pay for the same in full; and at the time of payment by the Owner, to certify in writing to the Owner that said payments have been so made.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by their duly authorized officers or agents on the day and year first above written.

Attachment: Exhibit A – Terms and Conditions
 Exhibit B – Scope of Services
 Exhibit C – Hourly Rates Schedule, Person Hour Estimate, Fee Estimate

ENGINEER:
KIRKHAM, MICHAEL & ASSOCIATES, INC.
 Federal ID #470365085

OWNER:
CITY OF PLEASANT HILL, IOWA

BY: _____
 Scott Almeida, P.E., Vice President

BY: _____

Date: _____

Date: _____

Exhibit A



General Terms and Conditions

1. AUTHORIZATION TO PROCEED

Signing of the accompanying agreement for engineering and related services shall be authorization by the client for Kirkham Michael & Associates, Inc. (Kirkham Michael) to proceed with the professional services described, unless otherwise stated in the agreement form.

2. DEFINITION

These mutually agreed covenants which include as a minimum the attached written proposal (Proposal) including a Scope of Services and these General Terms and Conditions constitute the "Agreement." This Agreement defines the relationship between the Client as identified in the Proposal and Kirkham Michael for the Project as defined in the Proposal. The professional services of Kirkham Michael shall include services performed by employees of Kirkham Michael, its affiliates, subsidiaries, independent professional associates, consultants and subconsultants.

3. STANDARD OF PRACTICE AND ABSENCE OF WARRANTY

Services performed by Kirkham Michael under this agreement will be conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions. No other representation, express or implied, and no warranty or guarantee is included or intended in the agreement or in any report, opinion, document, or otherwise. All estimates, recommendations, opinions, and decisions of Kirkham Michael will be made upon the basis of the information available to Kirkham Michael and Kirkham Michael's experience, technical qualifications, and professional judgment. Kirkham Michael makes no warranties, expressed or implied, under this Agreement or otherwise, in connection with Kirkham Michael's services.

Client expressly acknowledges that subsurface conditions may vary at locations other than at a particular location where borings, explorations, surveys and samplings are made, and that the data interpretations and recommendations of Kirkham Michael are based solely upon information available to Kirkham Michael. Client also acknowledges that Kirkham Michael shall not be responsible for interpretations by others of the information developed. All data obtained during investigative phases are subject to confirmation of conditions encountered during subsequent phases of the Project. Client recognizes that the scope of services under this Agreement is limited by Client's available budget and schedule and those additional services may yield more accurate and reliable information regarding conditions at or near the site.

4. PROJECT SITE AND RIGHT OF ENTRY

Client shall furnish or cause to be furnished to Kirkham Michael all documents and information known to CLIENT that relates to the identity, location, quantity, nature or characteristics of any hazardous waste at, on, or under the site. In addition, Client shall furnish and pay for such other reports, aerial photographs, data, studies, drawings, specifications, documents, and other information regarding surface and subsurface site conditions, which will be required by Kirkham Michael for performance of its services. Kirkham Michael shall be entitled to rely upon documents and information provided by Client in performing the services required under this Agreement; however, Kirkham Michael assumes no responsibility or liability for the accuracy or completeness of said documents and information. Client provided documents will remain the property of Client.

Kirkham Michael will not direct, supervise or control the work of contractors or their subcontractors. Kirkham Michael's services do not include a review or evaluation of a contractor's (subcontractor's) safety measures.

Kirkham Michael shall be responsible only for its activities and those of its employees on any site. Neither the professional activities nor the presence of Kirkham Michael, its employees, or its subconsultants on a site shall imply that Kirkham Michael controls the operations of others; nor shall this be construed to be an acceptance by Kirkham Michael of any responsibility for Project site safety.

Client shall provide right of entry for Kirkham Michael personnel, Kirkham Michael subconsultants and all equipment and vehicles necessary to perform services. Kirkham Michael will take reasonable measures to minimize damage to property; however, Client understands that some damage may occur and the cost of repair of such damage will be borne by the Client.

Client understands that Client will be responsible for designating the location of below grade structures, foundations, utilities and other subterranean obstacles. Kirkham Michael will take reasonable effort to avoid damage to these items. In the event these items cannot be located, Kirkham Michael, by Client written authorization, at Client's cost, will deploy feasible locating methods and employ specialty "dig up" crews to confirm locations. However, Client agrees to hold Kirkham Michael harmless for damages to or damages caused by any subsurface or subterranean utilities or structures which are not correctly located by Client or which Kirkham Michael could not locate using a reasonable standard of care.

5. INVOICING AND PAYMENT

The Client, recognizing that timely payment is a material part of the consideration of this agreement, shall promptly pay Kirkham Michael for services performed in accordance with the rates and charges set forth herein. Invoices will be submitted by Kirkham Michael on a monthly basis and shall be due and payable upon receipt. The Client shall pay an additional charge of one and one half percent (1.5%) (or the maximum percentage allowed by law, whichever is lower,) of the invoiced amount per month for any payment received by Kirkham Michael more than thirty (30) calendar days from the invoice date. Payment thereafter shall first be applied to accrued interest and then to principal unpaid amount.

If the Client for any reason fails to pay the undisputed portion of Kirkham Michael's invoices within thirty calendar days from the invoice date, Kirkham Michael may cease work on the project and the Client shall waive any claim against Kirkham Michael and shall defend and indemnify Kirkham Michael from and against any claims for injury or loss stemming from Kirkham Michael's cessation of services. Client shall also pay Kirkham Michael the cost associated with premature project demobilization. In the event the project is remobilized, Client shall also pay the cost of remobilization and shall renegotiate appropriate contract terms and conditions such as those associated with the budget, schedule or scope of services.

Unless the specific provisions of Proposal provide otherwise or the Current Year Schedule of Fees is not incorporated, then payment under this Agreement is based upon cost reimbursement (e.g., hourly rate, time and materials, direct personnel expense or per diem), and the provisions of the following sub-paragraphs shall apply:

a. The minimum time segment for billing field work is four (4) hours. The minimum time segment for billing work performed at an office is one-half (1/2) hour.

b. Project subcontracts (e.g. drilling, trenching, special testing, surveying, etc.) will be billed at cost plus 15% for handling and administration.

c. Other direct costs, excluding travel and subsistence, are payable at actual documented cost plus 10% for handling and administration. This shall include such items as shipping, communication, printing and reproduction, computer services, supplies and equipment, and equipment items rented from commercial sources. Travel and subsistence expenses of personnel when on business connected with the Project are reimbursable at cost plus 10%. The use of reusable field and support equipment owned by Kirkham Michael will be billed at negotiated rates. In the event that equipment does not have a current rate, a daily rate of 2% of purchase price of equipment will be used.

d. When applicable, rental charges will be applied to cover the cost of pilot-scale facilities or equipment, apparatus, instrumentation, or other technical machinery. When such charges are applicable, Client will be advised at the start of an assignment, task or phase. Analyses performed in Kirkham Michael or Kirkham Michael's subconsultants' laboratories will be billed on a unit-cost-per-analysis basis, unless specified otherwise in the accompanying Proposal (Scope of Services).

Exhibit A



General Terms and Conditions

e. Invoices based upon cost reimbursement will be submitted showing labor (hours worked) and total expense, but not actual documentation. If requested by Client, documentation will be supplied at the cost of providing such documentation, including labor and copying costs.

6. CHANGES OR DELAYS

Unless the accompanying Proposal provides otherwise, the proposed fees constitute Kirkham Michael's estimate to perform the services required to complete the Project as Kirkham Michael understands it to be defined. For those projects involving conceptual or process development services, activities often are not fully definable in the initial planning. In any event, as the Project progresses, the facts developed may dictate a change in the services to be performed, which may alter the scope. Kirkham Michael will inform CLIENT of such situations so that negotiation and compensation can be accomplished as required. If such change, additional services, or suspension of services results in an increase or decrease in the cost of or time required for performance of the services, whether or not changed by any order, an equitable adjustment shall be made, and the Agreement modified accordingly. Neither party shall be deemed in default of this Agreement to the extent that any delay or failure in the performance of either party's obligations results from any cause beyond either party's reasonable control and without either party's negligence.

7. LIMITATION OF LIABILITY

Kirkham Michael's liability is limited to amount of Kirkham Michael's compensation or the amount of fifty thousand dollars (\$50,000) whichever is less. To the fullest extent permitted by law, and notwithstanding any other provision of this Agreement, the total liability, in the aggregate, of Kirkham Michael and Kirkham Michael's directors, officers, principals, managers, employees, agents and Kirkham Michael's consultants and subconsultants, and any of them, to Client and anyone claiming, by, through, or under Client for any claims, losses, costs, or damages whatsoever arising out of, resulting from or in any way related to the Project or the Agreement from any cause or causes, including but not limited to the negligence, professional errors or omissions, strict liability or breach of contract, or warranty express or implied of Kirkham Michael or Kirkham Michael's directors, officers, principals, managers, employees, agents and Kirkham Michael's consultants and subconsultants, or any of them, shall not exceed the total compensation received by Kirkham Michael under this Agreement.

8. INSURANCE

Kirkham Michael agrees to purchase, at its own expense, Workers' Compensation Insurance and Comprehensive General Liability Insurance and will upon request, furnish insurance certificates to Client. Kirkham Michael agrees to indemnify Client for the claims covered by Kirkham Michael's insurance subject to the limitation of liability contained in Section 7. Kirkham Michael agrees to purchase additional insurance if requested by Client (presuming such insurance is reasonably available from carriers acceptable to Kirkham Michael), provided the costs for additional insurance are reimbursed by Client.

9. INDEMNIFICATION

Client and Kirkham Michael each agree to indemnify and hold the other harmless, and their respective officers, employees, agents and representatives, from and against liability for all claims, losses, damages and expenses, including reasonable attorneys' fees, to the extent such claims, losses damages, or expenses are caused by the indemnifying party's negligent acts, errors or omissions. In the event claims, losses, damages or expenses are caused by the joint or concurrent negligence of Client and Kirkham Michael, they shall be borne by each party in proportion to its negligence.

10. CONSEQUENTIAL DAMAGES

The Client shall not be liable to Kirkham Michael and Kirkham Michael shall not be liable to the Client for any consequential damages incurred by either party due to the fault of the other, regardless of the nature of

this fault or whether it was committed by the Client or Kirkham Michael, their employees, agents, or subcontractors. Consequential damages include, but are not limited to, loss of use and loss of profit.

11. TERMINATION

Either party may terminate the Agreement, in whole or in part, fourteen (14) days after giving written notice, if the other party substantially fails to fulfill its obligations under the Agreement through no fault of the terminating party. Where method of payment is "lump sum," the final invoice will include all services and expenses associated with the Project up to the effective date of termination. Where method of payment is based upon cost reimbursement, the final invoice will include all services and expenses associated with the Project up to the effective date of termination. In any event, an equitable adjustment shall be made to provide for termination settlement costs Kirkham Michael incurs relating to commitments that had become firm before termination, and for a reasonable profit for services performed.

12. GOVERNING LAW

This Agreement is to be governed by and construed in accordance with the laws of the State of Nebraska, unless mutually agreed in writing by Client and Kirkham Michael to be in accordance with the laws of the state where the Project is located.

13. DISPUTE RESOLUTION

Client and Kirkham Michael agree that as a prerequisite to the filing of a lawsuit or a demand for arbitration, they shall first submit any and all unsettled claims, counterclaims, disputes, and other matters in question between them arising out of or relating to this Agreement to mediation in accordance with the Construction Industry Mediation Rules of the American Arbitration Association, effective as of the date of this Agreement.

14. HAZARDOUS ENVIRONMENTAL CONDITIONS AND DISPOSAL OF CONTAMINATED MATERIAL

It is understood and agreed that Kirkham Michael is not, and has no responsibility as a handler, generator, treater, or storer, transporter, or disposer of hazardous or toxic substances found or identified at the Project site. It is acknowledged by both parties that Kirkham Michael's scope of services does not include any services related to the presence or discovery at the site of asbestos, PCBs, petroleum, hazardous waste, radioactive materials or any other hazardous material or toxic substance. Client acknowledges that Kirkham Michael is performing professional services for Client and Kirkham Michael is not and shall not be required to become an "arranger," "operator," "generator" or "transporter" of hazardous substances, as defined in the Comprehensive Environmental Response, Compensation, and Liability Act of 1990 (CERCLA). CLIENT shall undertake or arrange for the handling, removal, treatment, storage, transportation, and disposal of hazardous substances or constituents found or identified at the Project site.

15. CONFIDENTIALITY

Kirkham Michael shall maintain as confidential and not disclose to others without Client's prior written consent all information obtained from Client that was not otherwise previously known to Kirkham Michael or in the public domain and is expressly designated by Client in writing to be "CONFIDENTIAL." The provisions of this paragraph shall not apply to information in whatever form that (1) is published or comes into the public domain through no fault of Kirkham Michael, (2) is furnished by or obtained from a third party who is under no obligation to keep the information confidential, or (3) is required to be disclosed by law on order of a court, administrative agency, or other authority with proper jurisdiction.

Client agrees that Kirkham Michael may use and publish Client's name and a general description of Kirkham Michael's services with respect to the Project in describing Kirkham Michael's experience and qualifications to other Clients or potential Clients.

Exhibit A



General Terms and Conditions

16. OWNERSHIP OF DOCUMENTS, RE-USE OF DOCUMENTS AND USE OF ELECTRONIC MEDIA

All documents including drawings and specifications prepared or furnished by Kirkham Michael (and Kirkham Michael's affiliates, subsidiaries, independent professional associates, consultants, and subconsultants) pursuant to this Agreement are instruments of service in respect of the Project, and Kirkham Michael shall retain an ownership and property interest therein, whether or not the Project is completed. Client may make and retain copies for information and reference in connection with the Project; however, such documents are not intended or represented to be suitable for re-use by Client or others as extensions of the Project or on any other project. Any Client re-use without written verification or adaptation by Kirkham Michael for the specific purpose intended will be at Client's sole risk and without liability or legal exposure to Kirkham Michael or Kirkham Michael's affiliates, subsidiaries, independent professional associates, consultants, and subconsultants with respect to any and all costs, expenses, fees, losses, claims, demands, liabilities, suits, actions, and damages whatsoever arising out of or resulting there from. Any such verification or adaptation will entitle Kirkham Michael to further compensation at rates to be agreed upon by Client and Kirkham Michael.

Copies of documents that may be relied upon by Client are limited to the printed copies (also known as hard copies) that are signed or sealed by Kirkham Michael. Files in electronic media format or text, data, graphic or other types that are furnished by Kirkham Michael to Client are only for convenience of Client. Any conclusion or information obtained or derived from such electronic files will be at the user's sole risk. When transferring documents in electronic media format, Kirkham Michael makes no representations as to long-term compatibility, usability, or readability of documents resulting from the use of software application packages, operating systems or computer hardware differing from those in use by Kirkham Michael at the time electronic files were furnished to the Client.

17. CONTROLLING AGREEMENT

These General Terms and Conditions shall take precedence over any inconsistent or contradictory provisions contained in any proposal, contract, purchase order, requisition, notice-to-proceed, or like document regarding Kirkham Michael's services. If any of these General Terms and Conditions are determined to be invalid or unenforceable in whole or part by a court of competent jurisdiction, the remaining provisions hereof shall remain in full force and effect and be binding upon the parties hereto. The parties agree to reform this Agreement to replace any such invalid or unenforceable provision with a valid and enforceable provision that as closely as possible expresses the intention of the stricken provision.

These General Terms and Conditions shall survive the completion of the services under this Agreement and the termination of this Agreement for any cause. This Agreement between Client and Kirkham Michael shall pertain only to the benefit of the parties hereto, and no third party shall have rights hereunder.

18. OPINIONS OF PROBABLE COST

Opinions of probable cost, cost estimates, and construction cost estimates provided herein are made based upon Kirkham Michael's experience and qualifications as professional engineers. However, since Kirkham Michael has no control over the cost of labor, materials, equipment or services furnished by others, or over the contractor(s)' methods of determining prices, or over competitive bidding or other market conditions, any opinions of cost shall be accepted by Client subject to Paragraph 3 of these General Terms and Conditions.

In the event Client desires a level of accuracy of an estimate which establishes cost ceilings or detailed cost component analyses, Kirkham Michael will upon written authorization from Client secure the services of a specialized cost estimating and analyzing firm acceptable to Client. The Client shall agree to the payment of additional compensation as required.

19. CONSTRUCTION PHASE SERVICES

If this Agreement provides for any construction phase services by Kirkham Michael, it is understood that the Contractor, not Kirkham Michael is responsible for the construction of the project, and that Kirkham Michael is not responsible for the acts or omissions of any contractor, subcontractor or material supplier; for safety precautions, programs or enforcement; or for construction means, methods, techniques, sequences and procedures employed by the Contractor.

Kirkham Michael understands that the Client has sole right to decide whether to engage Kirkham Michael for Construction Phase Services. In the event the Client chooses to not include Kirkham Michael in Construction Phase Services, the Client shall be solely responsible for interpreting the Contract Documents and observing the Work of the Contractor to discover, correct or mitigate errors, inconsistencies or omissions. If the Client authorizes deviations, recorded or unrecorded, from the documents prepared by Kirkham Michael, the Client shall not bring any claim against Kirkham Michael and shall indemnify and hold Kirkham Michael, its agents and employees harmless from and against any claims, losses, damages and expenses, including but limited to defense costs and time of Kirkham Michael professionals, to the extent such claim, loss, damage or expense arises out such deviations.

20. PROPRIETARY DATA

The technical and pricing information contained in the accompanying Proposal or this Agreement is to be considered Confidential and Proprietary, and is not to be disclosed or otherwise made available to third parties without the express written consent of Kirkham Michael.

EXHIBIT B

SCOPE OF SERVICES

**PLEASANT HILL BOULEVARD AND VANDALIA ROAD IMPROVEMENTS
DESIGN SERVICES**

INTRODUCTION

This document presents the Consultant team's scope of services for design engineering and construction related services required for Pleasant Hill Boulevard and Vandalia Road Improvements project. The agreement and scope of services consists of three parts, A, B, and C. Part C requires a separate authorization to proceed.

Part A is for preliminary design of the full build-out of Pleasant Hill Boulevard and Vandalia Road. Part B is for final design of half build road way improvements. Part C is for Construction Administration and Observation Services

Part A is for preliminary design engineering and related services from Pleasant Hill Boulevard to US Highway 65 for Vandalia Road and the full build-out of a future 4-lane divided SE Connector roadway as it passes through the corridor. (See Figure 1) Preliminary engineering will be developed in enough detail to determine Right-of-Way and easement requirements. Environmental clearances will be limited to a categorical exclusion. If additional Environmental work is required, a separate agreement will be required.

Part B is for final design engineering and related services from Pleasant Hill Boulevard to US Highway 65 for Vandalia Road and the construction of a 2-lane divided roadway that will later be part of the SE Connector.

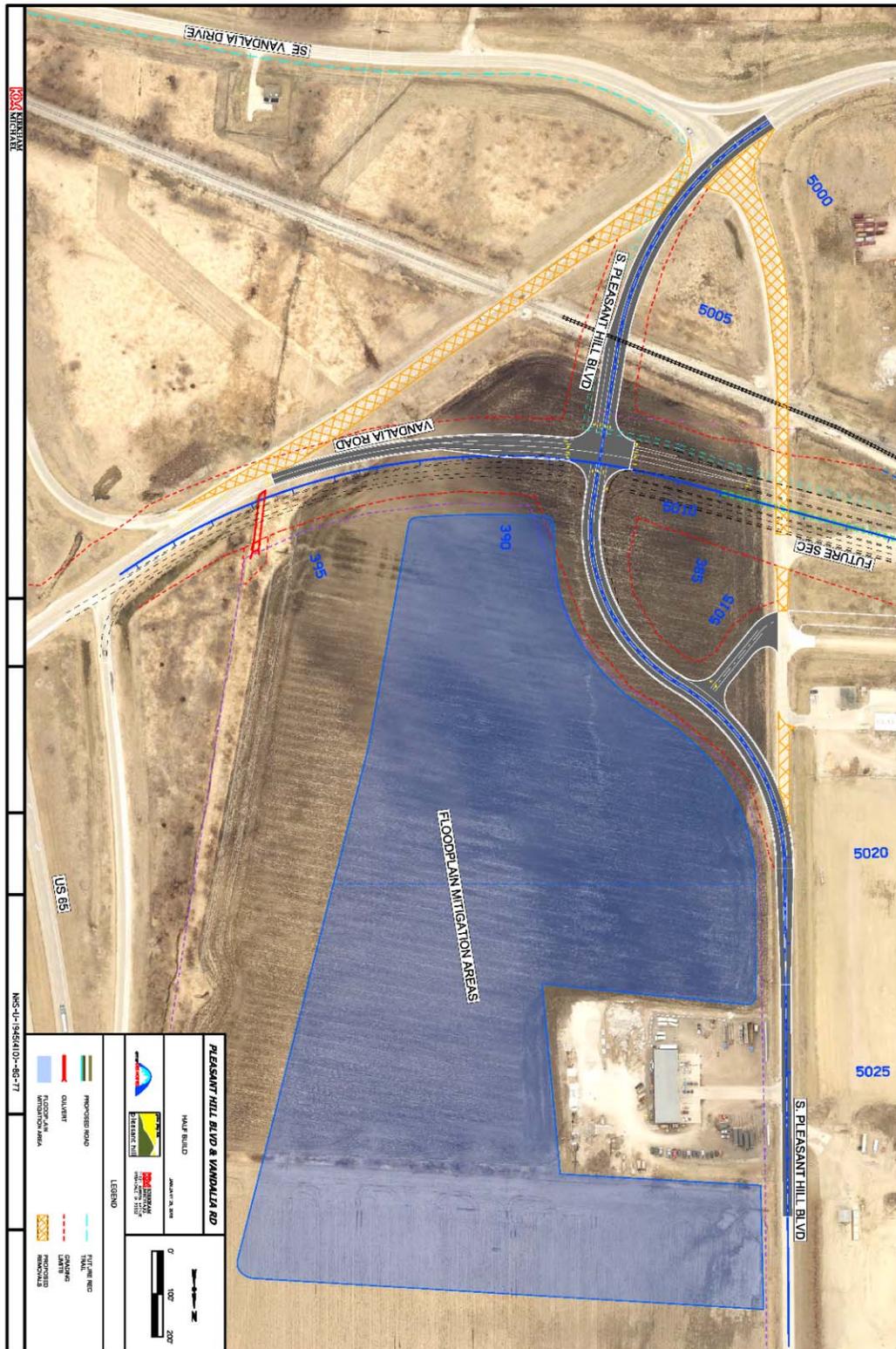
Part C is for Construction Administrative and Observations services required by the Local Systems process through the Iowa Department of Transportation.

Project Description

The project design is for approximately 1,700 linear feet of realignment of Pleasant Hill Boulevard between Parkridge Avenue and Vandalia Road in Pleasant Hill, Iowa. Approximately 1,500 LF of Vandalia Road will be realigned between Pleasant Hill Boulevard and U.S. Highway 65. The realignments will be designed to bring the roadways 3-feet above the 100-Year Base Flood Elevation for the adjacent the Four-Mile Creek flood basin. The realignments will also consolidate two railroad crossings on the Norfolk Southern Railway into one crossing, and accommodate the future SE Connector roadway. Design includes an extension of an existing PCC box culvert near the Hwy. 65 interchange, and coordination with the design of the future SE Connector roadway, which will eventually replace Vandalia Road east of Pleasant Hill Boulevard.

The roadway design will be a "complete streets" design that will include a recreational trail along Pleasant Hill Boulevard, and future bike lanes and recreational trail along the SE Connector. All streets will be converted from a "rural" section to an "urban" section that includes curb & gutter. Other typical roadway features included in the project design are storm drainage, undergrounding of utilities, special street lighting, sidewalks, trails, pavement markings, signage, erosion control, construction phasing, and construction traffic control. Special roadway design features include landscaping, and other aesthetic amenities at street intersections, including masonry monuments, planter beds, and a place for a future City of Pleasant Hill monument sign. The overall project limits are reflected on the following map.

Figure 1.



DETAILED SCOPE OF SERVICES:

PART A: PRELIMINARY DESIGN

General:

Preliminary design involves two separate submittals; one at approximately 10% complete (City submittal only) and one at approximately 50% complete (the preliminary design submittal per Iowa DOT). The 10% design effort will provide an opportunity to review the general layout and typical sections before moving forward with the DOT preliminary design submittal. The 50% design plans are based upon the 10% submittal and is the Preliminary Design submittal required by the DOT.

Designs prepared as part of the preliminary phase are approximately 50% complete. The intent is to perform design operations to a level complete enough to determine the final construction limits in order to define the Right-of-Way and easements required for the project. Design elements that impact the construction limits will be finalized during the preliminary design task. Design elements that do not impact the construction limits such as pavement markings, signage and lighting will not be addressed until the final design task.

- Roadway typical sections, alignment, profiles, number of lanes, radii, and other horizontal and vertical design features will be finalized and reflected in the preliminary plans.
- Side street and entrance geometries will be finalized and incorporated into the preliminary plans including profiles, radii, and width.
- Location and design of storm sewer outlet locations and any crossroad structures will be finalized as part of the preliminary plans.
- Major utility relocations that may require additional Right-of-Way or easements will be identified and locations finalized during preliminary design.
- Phasing plans and construction phasing components that may impact easement acquisition will be finalized during the preliminary design phase.

The 10% submittal includes:

- Cover Sheet
- Typical Section Sheets
- Horizontal/Vertical Control Sheets
- Roadway Plan and Profile Sheets
- Preliminary Bridge Type, Size and Location Plan
- Roadway Cross-Section Sheets

The 50% submittal includes:

- Cover Sheet
- Typical Section Sheets
- Horizontal/Vertical Control Sheets
- Roadway Plan and Profile Sheets
- Preliminary Storm Drainage Plan and Profile Sheets
- Traffic Signal Layout sheet
- Final Bridge Type, size and Location Plans
- Roadway Cross-Section Sheets
- Construction Quantities and Cost Estimates

TASK 1: Project Management

1.1 General Project Management

This task will be ongoing throughout the project period. The Consultant Project Manager will serve as primary point of contact, manage project schedule and budget, and be responsible for

coordinating work of design team members and sub-Consultants. The Consultant Project Manager will provide continuous project administration, management and coordination of tasks and activities, preparation of monthly progress reports, issuing of invoices and billings, ensuring appropriate quality assurance/quality control and other project management related activities deemed necessary to ensure efficient and timely project completion.

1.2 Meetings

- 1.2.1 The Consultant will prepare for, attend, and document one Kick-Off meeting to review the scope and schedule, and identify line of communications with the Cities of Des Moines and Pleasant Hill.
- 1.2.2 The Consultant will schedule and conduct monthly progress meetings. The Consultant will prepare an agenda in advance of the meetings and make a record of the meetings. It is estimated that there will be 8 meetings.
- 1.2.3 Prepare for, attend, and document up to 4 additional coordination meetings that may be required to discuss the project with the City or other identified stakeholders.

1.3 Coordination with Other Agencies

- 1.3.1 The Consultant will coordinate their design with the Iowa DOT and other appropriate agencies that are involved with this project.
- 1.3.2 The Consultant will assist the City in coordination efforts with the Norfolk Southern Railroad for the following items.
 - Consolidate two railroad crossings into one new crossing.

1.4 Quality Control / Quality Assurance

The Consultant shall perform ongoing reviews of major design decisions and the plan preparation process and perform detailed reviews of plans prior to submittals for completeness and quality.

TASK 2: Concept Statement Preparation

Coordinate with the City and Iowa DOT District 1 staff to prepare the necessary concept statements and initiate the project(s) in the Iowa DOT Transportation Project Management System (TPMS).

TASK 3: Data Collection and Base Maps

- 3.1 Some field topographic, utility and legal surveys for the project area were performed and completed under previous contracts. Legal surveys for the project area were performed and completed under previous contract. Work under this contract includes limited field topographic and utility surveys from Pleasant Hill Boulevard to Highway 65. The Consultant will establish, confirm and tie to City of Des Moines control points and reduce the survey data for use in design. The Consultant will coordinate with property owners and obtain right of entry permission where needed to access private property
- 3.2 Utility Locations marked in the field by the utility companies will be surveyed. Visible above ground utility appurtenances such as valves, manholes, vaults, and junction boxes will also be located and surveyed.
- 3.3 At utility locations where a more accurate and detailed location is deemed necessary by the City or Consultant the Consultant shall arrange for and obtain hard locations of underground utilities through exposure of the utility via pot-holing and vacuum excavation or other approved means.
- 3.4 The Consultant shall obtain original plats and research deeds to determine location of existing Right-of-Way lines and property lines and to verify ownership information.

- 3.5 Base maps will be prepared that depict all existing information, topography, right-of-way lines, property lines, property information, utilities, contours and spot elevations.
- 3.6 After final Right-of-Way limits are determined the Consultant will stake corners of Right-of-Way to be acquired and the corners of easements required to construct the project. It is estimated all of the tracts will be staked one time. (5 tracts are assumed)

TASK 4: Geotechnical Investigations

Geotechnical tasks were performed under a previous contract.

TASK 5: Hazardous Materials Investigations

This corridor was previously studied, and is covered by the 2010 SE Connector Environmental Impact Statement. No potential hazmat sites were identified in in the areas of this specific project. Should hazmat sites be identified in the course of project development, additional scope and fee will be included.

TASK 6: Utility Coordination

6.1 Utility Location/Verification

- 6.1.1 The Consultant will review the utility locations shown on the plans, and verify these locations during field inspections. After survey is complete, plans will be printed and distributed to the Utility Companies for verification of ownership, type, size, location, and cased or uncased.
- 6.1.2 The Consultant will request that the Utility Companies return to the Consultant marked up plans with utility verification. The Consultant will incorporate the information into the topography. All utilities identified in the topographic survey and verified by the individual utility will be incorporated into the plans.
- 6.1.3 Identification and verification by the Utility Companies of major utility conflicts such as fiber optic lines, gas pipelines, crude oil pipelines, high-pressure waterlines, transmission lines, etc., will be accomplished at the earliest possible time. The Consultant and the City's Project Manager will discuss major conflicts and attempt to avoid them. If avoidance is not possible, the Consultant will then request the Utility Company to verify the conflict and provide a preliminary estimate of reimbursable costs and time frames associated with the utility relocation.
- 6.1.4 The Consultant will coordinate early in the process with City staff in charge of City owned facilities. Coordination will be with Des Moines Water Works (DMWW) for water and Pleasant Hill Public Works for sanitary sewer to identify potential conflicts and planned improvements.
(Note that Storm Sewer, and Traffic Signals are included under separate tasks). The Consultant will design to avoid the utility or corrective adjustments will be designed so that underground construction for this project is compatible with other existing or planned underground facilities. Water adjustments shall be designed by DMWW. Sanitary Sewer adjustments will be designed by the Consultant. Adjustment and construction of City owned utilities will be included as part of the construction documents.

6.2 Utility Plan Submittal

At each City review submittal, the plans will be distributed by the Consultant to public and private utilities for comment.

6.3 Utility Review Meetings/Coordination

Any utility review meeting should be scheduled to coincide with a regular project progress

meeting or City review meeting. The Consultant shall include time for coordination via the phone and one-on-one meetings with affected utilities, depending on the complexity of the project.

TASK 7: Preliminary Roadway Design and Right of Way Design

7.1 Cover Sheet: Prepare Cover Sheet conforming to City and DOT requirements.

7.2 Typical Sections. Develop typical sections for Pleasant Hill Boulevard and Vandalia Road. It is assumed that the typical sections developed for the planning of the project may be utilized for these sections.

7.3 Horizontal and Vertical Alignments. The Consultant shall develop horizontal alignments and vertical profiles including width transitions, turn bays and general geometrics...

7.3.1 The Consultant shall prepare horizontal and vertical control sheets.

7.3.2 The Consultant shall prepare roadway plan and profile sheets for the roadway segments identified in the Project Description on page 3 of this scope of services.

7.4 Preliminary Culvert T S and L

For this scope of services one box culvert extension is expected.

7.4.1 The Consultant shall review and confirm the size, type, and construction of the existing box culvert.

7.4.2 The Consultant shall begin development of the Type, Size and Location Plans (TS and L) including typical section, plan and profile.

7.5 Submit 10% Plans.

The Consultant shall submit 5 plan sets for City review, meet with the City to discuss comments and incorporate comments into the 50% submittal.

7.6 Traffic Signals

Traffic signals are required at the intersection of Pleasant Hill Boulevard and Vandalia Road

7.6.1 Review previous traffic studies and perform operational analysis to determine appropriate intersection geometrics including number of turning lanes, turn bay lengths, curb return radii, detection criteria, and verification of sight lines.

7.6.2 Prepare general layout sheet for traffic signal that identifies the location of the signal poles, pull boxes, controllers, pedestals, and interconnect in enough detail to verify and define required Right-of-Way.

7.6.3 Design a mid-block crossing for a future park located on both sides of Pleasant Hill Boulevard.

7.7 Drainage Study and Design

7.7.1 Review any previous storm water analysis and modeling analyses conducted for this area. Update the analysis to estimate storm water flows, volumes, and required pipe dimensions and other components such as potential detention basins. Special consideration is required for impacts to the Four Mile Creek drainage area.

7.7.2 Develop preliminary plans for construction of the new system, including structures, pipe routing, size, and grade, coordination with other projects, conflict avoidance, potential detention basins and other required planning information. This design element shall be completed in enough detail to identify any required easements beyond the roadway Right-of-Way.

7.8 Construction Phasing

The consultant shall develop a preliminary construction phasing plan to determine if additional Right-of-Way may be required for temporary pavements or staging.

7.9 Landscaping and Aesthetics

The Consultant shall meet with the City to discuss the level and extent of landscaping, and aesthetic amenities anticipated for the roadway. Concept level plans will be prepared for discussion purposes that include general layouts of trees, shrubs, irrigation lines, and street lighting layout and intersection amenities. Detailed plans will not be prepared until final design. The level of aesthetics will match recent SE Connector projects since this will someday be part of the SE Connector.

7.10 Finalize Cross-Sections and Limits of Construction

7.10.1 Roadway cross-sections will be developed according to the roadway geometrics, typical sections and construction phasing plans and will include any temporary pavement and staging of construction for accommodation of local traffic and access to abutting properties. Cross sections will be finalized that reflect both the final graded section and any temporary grading sections required for construction purposes. These sections will be utilized to define the limits of construction to be reflected on the plans and utilized to design the Right-of-Way and easements.

7.10.2 Limits of Construction Using the Digital Terrain Model (DTM) and the approved typical section, limits of construction will be determined. The limits of construction will be compared in relationship to the Right-of-Way lines and adjustments will be made as necessary to minimize Right-of-Way and easement acquisition.

7.11 Right-of-Way Platting

Was performed under a previous contract.

7.12 Final Culvert Type, size and Location Plans

The Consultant shall prepare a final type, size and location plan for the culvert extension in conformance with the standards of the Iowa DOT.

7.13 Special Provisions

The Consultant will submit a list of anticipated Special Provisions with the 50% submittal.

7.14 Quantities and Opinion of Probable Construction Costs

Quantities shall be estimated and a Consultant's Opinion of Probable Construction Costs will be prepared for the Client using the most recent Iowa DOT unit prices for similar construction as a base. Adjustments to unit prices for inflationary increases will be used as agreed upon with the City.

7.15 Submit Preliminary (50%) Plans

7.15.1 The Consultant will submit 5 plans sets to the City for review and comment and incorporate the comments into the preliminary plans

7.15.2 The Consultant will submit the preliminary plans to the Iowa DOT per DOT requirements. Comments will be incorporated in the final design plans.

PART B: FINAL DESIGN

Final design consists of 2 submittals, one at 90% (Check Plans) and one at 100% (Final Plans and PDC). The 90% submittal is based on the approved 50% plans and the 100% submittal based on the 90% review comments. Submittals will be first made to the City, comments incorporated, and then submitted to the Iowa DOT.

Each Submittal includes:

- Cover Sheet
- Legend and Utility Contact Information
- General Plan Sheet
- Typical Section Sheets
- Detail Sheets
- Quantity Notes and Tabulations
- Mainline Plan and Profile sheets
- Side Road Plan and Profile sheets
- Control Points, Bench Marks and Alignments
- Landscaping and Irrigation
- Construction Phasing Sheets
- Traffic Control Sheets
- Pavement Geometrics and Jointing
- Pavement Marking and Signage
- Storm Sewer Sheets
- Waterline and Sanitary Sewer Sheets
- Traffic Signal Sheets
- Street Lighting Plans and Details
- Soils Sheets
- Removal Sheets
- Sediment and Erosion Control Sheets
- Bridge Plans
- Right-of-Way/Property Plat Sheets
- Roadway Cross-Section Sheets

TASK 8: Project Management

8.1 General Project Management

This task will be ongoing throughout the project period. The Consultant Project Manager will serve as primary point of contact, manage project schedule and budget, and be responsible for coordinating work of design team members and sub-Consultants. The Consultant Project Manager will provide continuous project administration, management and coordination of tasks and activities, preparation of monthly progress reports, issuing of invoices and billings, ensuring appropriate quality assurance/quality control and other project management related activities deemed necessary to ensure efficient and timely project completion.

8.2 Meetings

- 8.2.1 The Consultant will prepare for, attend, and document one Kick Off meeting to review the scope and schedule and to identify line of communications with the Cities of Pleasant Hill and Des Moines.
- 8.2.2 The Consultant will schedule and conduct monthly progress meetings. The Consultant will prepare an agenda in advance of the meetings and make a record of the meetings. It is estimated that there will be 4 meetings.
- 8.2.3 Prepare for, attend, and document up to 2 additional coordination meetings that may be required to discuss the project with the City or other identified stakeholders.

8.3 Coordination with Other Agencies

- 8.3.1 The Consultant will coordinate their design with the Iowa DOT and other appropriate agencies that are involved with this project.
- 8.3.2 The Consultant will assist the City in coordination efforts with the Norfolk Southern Railroad for the following items.
 - Consolidation of railroad crossings.

8.4 Quality Control / Quality Assurance

The Consultant shall perform ongoing reviews of major design decisions and the plan preparation process and perform detailed reviews of plans prior to submittals for completeness and quality.

TASK 9: Utility Coordination

9.1 Utility Verification

Utility verification and coordination will continue throughout the final design process based on information received during the preliminary design phase.

9.2 Utility Plan Submittal

At each review submittal, the plans will be distributed by the Consultant to public and private utilities for comment.

9.3 Utility Review Meetings/Coordination

Any utility review meeting should be scheduled to coincide with a regular project progress meeting or City review meeting. The Consultant shall include time for coordination via the phone and one-on-one meetings with affected utilities, depending on the complexity of the project.

Task 10 Final Roadway Culvert Design

10.1 Cover Sheet

Finalize the cover sheet prepared during preliminary design.

10.2 Legend and Utility Contact Information sheet shall be prepared

10.3 General Plan sheet depicting the entire project limits shall be prepared

10.4 Typical Sections and Details

10.4.1 For the four-lane design (part A) the typical sections created during preliminary design shall be finalized.

10.4.2 For the 4 lane design (Part B) the typical sections created during preliminary design shall be modified and finalized for the two-lane construction.

10.5 Details Sheets for curbs and sidewalks shall be prepared.

10.6 Special Detail Sheets for all ADA ramps shall be prepared.

10.7 Quantity Notes and Tabulations sheets shall be completed.

10.8 Mainline Plan and Profile sheets started during preliminary design shall be finalized.

10.9 Side Road Plan and Profile sheets started during preliminary design shall be finalized.

10.10 Control Points, Bench Marks and Alignments sheets shall be finalized.

10.11 Landscaping Plans shall be prepared and finalized that depict locations and type of trees and shrubs, planting beds, intersection aesthetics including location of masonry piers and associated details.

10.12 Construction Phasing Sheets shall be prepared and finalized that defines the general order of construction to accommodate traffic and access where required. Detour routes and temporary paving locations will be identified where required.

10.13 Traffic Control Sheets shall be prepared and finalized that depict the required construction signing necessary for construction and to identify any signage required for detour routes required

detour routes.

- 10.14 Pavement Geometrics and Jointing sheets** shall be prepared and finalized that identify all critical locations of the horizontal alignments including turn bays, pavement width transitions, curb return radii, median and intersection geometrics. A detailed pavement jointing plan shall be prepared that identifies locations of the pavement joints and critical elevations at intersections and other cross slope transition areas.
- 10.15 Pavement Marking and Signage sheets** shall be prepared and finalized that indicate the type and location of signs and pavement markings required for permanent installation.
- 10.16 Storm Sewer Sheets:** Based on preliminary design work, the Consultant shall complete the detailed design of all aspects of drainage for the project. The Consultant will complete the final design of all pipes, inlets, manholes, junction boxes, and detention basins required for the project. Using the drainage scheme established during preliminary design, final hydraulics and details will be developed for the conduits in accordance with Iowa DOT policies and procedures.
- 10.17 Waterline and Sanitary Sewer Sheets** shall be included in the construction documents. Waterline and sanitary sewer plans shall be prepared by the Consultant to address any modifications to existing water or sanitary sewer facilities due to this project.
- 10.18 Traffic Signal Sheets**
A traffic signal will be designed for the intersection of Pleasant Hill Boulevard and the new eastern portion of Vandalia Road, and a flashing mid-block crossing will be designed for a future installation if a City park develops north of Vandalia Road.
- 10.18.1 For a four lane design (Part A) the Consultant will meet with the City to determine required signalization and develop and finalize required traffic signal sheets.
- 10.18.2 For the two lane design (part B) the Consultant shall complete the traffic signal plans initiated during preliminary design.
- 10.19 Street Lighting Plan and Details** shall be prepared and finalized that identify the necessary street light pole locations, wiring information and details.
- 10.20 Soils Sheets** shall be prepared and finalized which depict the geotechnical information and soil conditions of the project.
- 10.21 Removal Sheets** shall be prepared and finalized that identify paving, trees structures and other items to be removed as part of the project.
- 10.22 Sediment and Erosion Control Sheets** shall be prepared and finalized that identify the location and type of erosion control structures required for the construction of the project.
- 10.23 Final Culvert Plans** shall be prepared and finalized based on the TS and L plans prepared during preliminary design.
- 10.24 Roadway Cross-Section Sheets** shall be finalized.
- 10.25 Permit Applications / Agreements**
The Consultant shall assist the City in preparation and submittal of the paperwork required to obtain the following permits. The Consultant shall copy the City's project manager on all applications being submitted.
- Corps of Engineers 404 Permit
 - Floodplain Permit
 - SWPPP - NPDES Permit
- 10.26 Final Tabulations, Quantities, and Specifications**
The Consultant will compile the data for all applicable tabulations, final estimates of quantities, and any special provisions for the project(s) in conformance with Iowa DOT policies and

procedures for inclusion in the final plan submittals.

- 10.26.1 Final Tabulations: The Consultant will prepare and populate all applicable tabulations for inclusion in the final plan sheets according to Iowa DOT policies and procedures.
- 10.26.2 The Consultant will prepare a final opinion of probable construction cost based on the final estimate of quantities. Item costs for this cost opinion will use the most recent 12-month compilation of tabulated unit prices as produced and distributed by Iowa DOT.
- 10.26.3 Special Provisions: The Consultant will prepare special provisions for any construction item not covered by the Iowa DOT Standard Specifications, 2009 Edition.

10.27 Submit Final Plans

- 10.27.1 Check Plans shall be submitted to the City for review and comments. A plan review meeting shall be scheduled. Comments will be incorporated into the Check Plans before submitting to the DOT.
- 10.27.2 The revised Check Plans shall be submitted to the Iowa DOT in accordance with DOT procedures. Comments will be incorporated into the Final Plans.
- 10.27.3 Submit Final Plans, ready for letting to the City and the DOT in accordance with DOT procedures.

Final design consists of 2 submittals, one at 90% (Check Plans) and one at 100% (Final Plans and PDC). The 90% submittal is based on the approved 50% plans and the 100% submittal based on the 90% review comments. Submittals will be first made to the City, comments incorporated, and then submitted to the Iowa DOT.

PART C: CONSTRUCTION ENGINEERING

Consultant shall perform Construction Engineering services per the Local Systems Federal-Aid process for a scope and fee to be negotiated at the time of construction.

Construction Staking: Consultant shall perform Construction Staking services for a scope and fee to be negotiated at the time of construction.

Material Testing: To be contracted by a third-party at the time of construction, City may choose to have testing firm be a sub-consultant to KM.

SCHEDULE

Preliminary Design, including surveys, geotechnical investigations and hazardous materials investigations: February 2016 through October 2016 (Part A)

Final Design: October 2016 through February 2017 (Part B)

Construction Administration: April 2017 through August 2018 (Part C)

See Exhibit C for detailed KM staff hour estimates, hourly rates and fee estimate.

February 4, 2016

RDG SCOPE AND FEE PROPOSAL

PROJECT NAME

Pleasant Hill Boulevard and Vandalia Road Improvements
Pleasant Hill, Iowa

OWNER / CLIENT

City of Pleasant Hill (City)
5160 Maple Drive, Suite A
Pleasant Hill, IA 50327

CONSULTANT

Kirkham Michael and Associates, Inc. (KM)
11021 Aurora Avenue
Urbandale, IA 50322
Project Manager: Scott Almeida, PE

SUB-CONSULTANT

RDG IA Inc., d/b/a RDG Planning and Design (RDG)
301 Grand Avenue
Des Moines, IA 50309
Project Manager: Eric W. Iverson, PLA

RDG SCOPE OF SERVICES

The Pleasant Hill Boulevard and Vandalia Road Improvements project is a realignment of Pleasant Hill Boulevard and Vandalia Road near the Highway 65 Bypass. RDG Planning & Design, here in described as the Sub-consultant, will be responsible for landscaping, roadside enhancements, lighting, and electrical design. Anticipated design elements for this project include the following:

1. Landscape design for Pleasant Hill Boulevard and Vandalia Road, and design of vegetative site restoration for disturbed areas of the project, including the floodplain mitigation area.
2. Development of small architectural design features or monuments at the intersection of Vandalia Road and Pleasant Hill Boulevard.
3. Identify possible locations for other future site amenities not included in this contract, such as public art, gateways, or community signage.
4. Work with Consultant to recommend locations for sustainable storm water engineering improvements to storm water detention areas and the flood mitigation areas including grading modifications, sediment fore-bays, staged outlets, and aquatic shelves.
5. Conceptual level park planning for flood mitigation area as a potential park for the Pleasant Hill Park System.
6. Roadway lighting design for the Pleasant Hill Boulevard and Vandalia Road including luminaire and pole selection, photometric analysis, and spacing recommendations.
7. Accent lighting design of architectural design monuments.
8. Electrical engineering for roadway lighting and accent lighting elements.



Sub-consultant will assist the Owner and the Consultant with Design and Construction Period Services for the following tasks identified in the Consultant's Prime agreement for the Pleasant Hill Boulevard and Vandalia Road Improvements Design Services. The work to be performed by the Sub-consultant under this agreement shall encompass and include all work, services, materials, equipment, supplies and incidental costs necessary to complete the following tasks:

Part A: Preliminary Design

Task 1: Project Management

- 1.1 Sub-consultant will perform general project management including project communication with the Owner and Consultant, project staffing, invoicing and billing pertaining to work performed by the sub consultant.
- 1.2 Sub-consultant will attend a project kick-off meeting, monthly progress meetings, and coordination meetings as required to perform the sub-consultant's scope of services. A total of five meetings is included in this scope.
- 1.3 Sub-consultant will participate in discussions with the Owner, Consultant, and Iowa DOT on items relating to the sub-consultant's services.
- 1.4 Sub-consultant will perform an in-house quality control review of the preliminary plan documents for potential coordination conflicts.

Task 2: Concept Statement Preparation

- 2.1 Sub-consultant will assist Consultant with a narrative description of roadside enhancement and lighting as required for the concept statement.

Task 7: Preliminary Roadway Design and Right-of-Way Design

- 7.9 Landscape and Aesthetics Services as described by Prime Agreement for the Sub-consultant's scope items. Deliverables will include plan renderings, conceptual drawings, and two three-dimensional renderings.
- 7.13 Sub-consultant will provide a list of special provisions related to non-standard DOT bid items pertaining to the Sub-consultant's scope items.
- 7.14 Sub-consultant will assist the Consultant in preparation of quantities and an Opinion of Probable Costs for the Sub-consultant's scope items.
- 7.15 Sub-consultant will submit 50% and Preliminary plans in 11x17 plan line drawings at 40 scale.

Part B: Final Design

Task 8: Project Management

- 8.1 Sub-consultant will perform general project management including project communication with the Owner and Consultant, project staffing, invoicing and billing pertaining to work performed by the sub consultant.
- 8.2 Sub-consultant will attend a final design kick-off meeting, monthly progress meetings, and coordination meetings as required to perform the sub-consultant's scope of services. Sub-consultant will also prepare and present landscape and aesthetic enhancements to the City of Pleasant Hill City Council, A total of six meetings or presentations is included in this scope.
- 8.3 Sub-consultant will participate in discussions with the Owner, Consultant, and Iowa DOT on items relating to the sub-consultant's services.
- 8.4 Sub-consultant will perform an in-house quality control review of the final plan documents for potential coordination conflicts.

Task 10: Final Roadway and Bridge Design

- 10.7 Sub-consultant will provide estimated quantities and estimate reference notes for the Sub-consultant's scope items.
- 10.11 Landscape and aesthetics plans and details as described by Prime Agreement for the Sub-consultant's scope items.
- 10.19 Sub-consultant will prepare street lighting plans and details as described in the prime agreement.
- 10.26 Sub-consultant will provide final estimated quantities, bid items opinion of probable costs, and special provisions for bid items designed by the sub-consultant.
- 10.27 Sub-consultant shall prepare 11 x 17 drawings for inclusion with the check plan and final plan submittals as coordinated and assembled by the Consultant.



Part C: Construction Engineering

Construction period services will be scoped and contracted independently, and are not part of this scope of services.

Sub-consultant's services for the aforementioned tasks shall be limited to electrical, lighting, landscaping, and other aesthetic components designed by the sub-consultant. Sub-consultant's level of effort and frequency of participation are estimated in the attached time task analysis.

SCHEDULE

Anticipated schedule of services to be in accordance with schedule identified in the Consultant's Base Agreement and as described below:

February 16, 2016	Concept Statement
August 16, 2016	Preliminary Plans
October 25, 2016	Check Plans
November 11, 2016	Final Plans
February 21, 2017	Project Letting

COMPENSATION

Refer to the attached time task analysis for the Pleasant Hill Boulevard and Vandalia Road Improvements for RDG staff hour estimates, hourly rates and fee estimate.

ADDITIONAL SERVICES

Upon request services not described herein may be provided by this firm in accordance with RDG's 2016 Standard Hourly Rates.

END OF PROPOSAL



EXHIBIT C

HOURLY RATES SCHEDULE, PERSON HOUR ESTIMATE, FEE ESTIMATE

Pleasant Hill Boulevard and Vandalia Road Improvements

EXHIBIT C

Standard Fee Schedule
 Kirkham Michael
 2016

Kirkham Michael Iowa 2016 Billing Rate Schedule by Classification		
KM Classification	Example Staff	2016 Billing Rate
Principal / Operations Manager	Greg Cabalka	\$175.00
Engineering Manager	Steve Reneker	\$175.00
Principal Engineer	Kevin Arp, Scott Almeida	\$170.00
Senior Scientist / NEPA Specialist		\$145.00
Senior Engineer	Rob Garber	\$140.00
Associate Engineer		\$120.00
Engineering Intern 1	Travis Novotny, Mitchell Holtzman	\$95.00
Engineering Intern 2	Ben Smith	\$100.00
Engineering Intern 3		\$110.00
Design Manager	Russ Lemke	\$135.00
Design Technician	Robert Fleming	\$80.00
CADD Technician		\$70.00
Licensed Surveyor	Chad Marsh	\$195.00
Senior Project Surveyor	Duane Lass	\$120.00
Project Surveyor		\$115.00
Survey Crew Chief	Chad Greenway	\$90.00
Construction Manager	Bob Baldwin	\$110.00
Assistant Construction Observer / Technician	Steven Brooks, Marko Wol	\$75.00
Administrative	Cindy Sierzant	\$80.00

Rates are subject to increase on January 1, 2017

Project Staff Hour Estimate and Engineering Budget - KIRKHAM MICHAEL																EXHIBIT C			
Pleasant Hill Boulevard																			
City of Pleasant Hill																			
Pleasant Hill, Iowa																			
KM Project Number																			
Date	3-Feb-16																		

Task	Description	Principal / Ops Manager	Engineering Manager	Principal Engineer	Senior Engineer	Engineering Intern 2	Engineering Intern 1	Design Manager	Design Technician	Senior Project Surveyor	Party Chief	Assistant Construction Observer / Technician	Senior Construction Manager	Registered Land Surveyor	Admin / Clerical	Subtotals KM Labor	KM Direct Expenses	RDG	Sub 2
		Greg	Steve	Kevin / Scott	Rob	Ben	Mitchell	Russ	Robert	Duane	Chad G	Steve, Marko	Bob	Chad M	Cindy				
		\$175.00	\$175.00	\$170.00	\$140.00	\$100.00	\$95.00	\$135.00	\$80.00	\$120.00	\$90.00	\$75.00	\$110.00	\$195.00	\$80.00		\$1.00	\$1.00	\$1.00
	SECTION A - Preliminary Design Engineering																\$0	\$27,576	\$0
1	Project Management	24	0	52	0	22	0	0	0	0	0	0	0	0	0	\$15,240.00	0	0	0
2	Concept Statement Preparation	0	0	8	0	16	0	0	8	0	0	0	0	0	0	\$2,960.00	0	0	0
3	Data Collection and Base Maps	0	0	8	0	0	0	0	0	60	80	0	0	0	0	\$15,760.00	0	0	0
4	Geotechnical Engineering	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0.00	0	0	0
5	Hazardous Materials Investigation	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0.00	0	0	0
6	Utility Coordination	0	0	24	0	56	0	0	16	0	40	0	0	0	0	\$13,280.00	0	0	0
7	Preliminary Design and ROW	0	64	82	0	206	16	66	96	40	0	0	0	0	0	\$60,970.00	0	27,576	0
		\$4,200	\$11,200	\$29,580	\$0	\$30,000	\$1,520	\$8,910	\$9,600	\$12,000	\$10,800	\$0	\$0	\$0	\$0	\$117,810			
	TOTAL HOURS	24	64	174	0	300	16	66	120	100	120	0	0	0	0	984			
	TOTAL LABOR	\$4,200.00	\$11,200.00	\$29,580.00	\$0.00	\$30,000.00	\$1,520.00	\$8,910.00	\$9,600.00	\$12,000.00	\$10,800.00	\$0.00	\$0.00	\$0.00	\$0.00	\$117,810.00	\$0	\$27,576	\$0
	SECTION B - Final Design Engineering																\$500	\$32,391	\$0
8	Project Management	16	0	52	0	16	0	0	0	0	0	0	0	0	0	\$13,240.00	0	0	0
9	Utility Coordination	0	0	16	0	40	0	0	0	16	0	0	0	0	0	\$8,640.00	250	0	0
10	Final Roadway Design	0	24	180	0	410	0	60	60	428	0	0	0	0	0	\$135,260.00	250	32391	0
		\$2,800	\$4,200	\$42,160	\$0	\$46,600	\$0	\$8,100	\$4,800	\$53,280	\$0	\$0	\$0	\$0	\$0	\$161,940			
	TOTAL HOURS	16	24	248	0	466	0	60	60	444	0	0	0	0	0	1,318			
	TOTAL LABOR	\$2,800.00	\$4,200.00	\$42,160.00	\$0.00	\$46,600.00	\$0.00	\$8,100.00	\$4,800.00	\$53,280.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$161,940.00	\$500	\$32,391	\$0
		KM Labor		\$117,810	KM Labor		\$161,940	KM Labor		\$0	KM Labor		\$279,750						
		KM Directs		\$0	KM Directs		\$500	KM Directs		\$0	KM Direct Expenses		\$500						
		Subconsultants		\$27,576	Subconsultants		\$32,391	Subconsultants		\$0	Subconsultant Expenses		\$59,967						
		PHASE A TOTAL		\$145,386	PHASE B TOTAL		\$194,831	PHASE C TOTAL		\$0	Total Fee		\$340,217						
		SECTION A - Contract Fee		\$145,386	SECTION B - Contract Fee		\$194,831	SECTION C - Contract Fee		\$0	Total Contract Fee		\$340,217						

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 09, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	MADLINE STURMS, AICP, CPM SENIOR PLANNER
SUBJECT:	SET PUBLIC HEARING ON INTENT TO ACQUIRE AGRICULTURAL PROPERTY AND AUTHORIZE ACQUISITION OF NECESSARY PROPERTY FOR PLEASANT HILL BLVD AND VANDALIA RD INTERSECTION PROJECT

BACKGROUND:

The City of Pleasant Hill has been working with the City of Des Moines to plan and construct the SE Connector as a transportation corridor connecting the Highway 5/65 Bypass to downtown Des Moines for several years. The City of Des Moines initiated the project that begins as an extension to the Martin Luther King Jr. Parkway in the City's downtown. Roadway improvements move east from downtown through the industrial southeast quadrant of the City and will be reaching SE 30th Street in 2016. The City has initiated a transfer of STP funds with the Des Moines Area MPO that has been approved by the Transportation Technical Committee and will be heard by the Policy Committee next for final approval. The construction of the Pleasant Hill Boulevard and Vandalia Road intersection is able to proceed before the continued construction of the Southeast Connector between SE 30th St and U.S. 65 due to FHWA restrictions. The intersection will provide for local traffic needs and be designed to align with future construction of the Southeast Connector.

To move forward with the project, the City will need to acquire the necessary right-of-way and easements for the project by gift, negotiation, or eminent domain including acquiring agricultural property. These actions are required by Iowa law before the City can initiate the right-of-way acquisition process under eminent domain. The City of Pleasant Hill and City of Des Moines are coordinating the acquisition process to be led by Des Moines real estate staff. The attached resolution sets the public hearing for the intent to acquire property for March 22, 2016 at 6:30 PM. Notices will be sent to the affected property owners pursuant with Iowa Code Chapter 6B prior to the public hearing.

ANALYSIS/IMPACT:

The property to be acquired will be necessary to complete the Pleasant Hill Blvd and Vandalia Rd Intersection project and the continuation of development of the Southeast Connector Project.

ALTERNATIVES:

Not approve the resolution. However, this would delay or terminate the project as time sensitive notice is required to acquire agricultural property.

FINANCIAL CONSIDERATIONS:

Property values will be determined by an independent appraiser after right-of-way acquisition limits have been determined. The project has been identified as a priority by the City Council and has been budgeted for in the Capital Improvements Program.

RECOMMENDATION:

Consider approval of the attached resolution to set the public hearing on the intent to acquire agricultural property and authorize acquisition of necessary property for Pleasant Hill Blvd and Vandalia Rd Intersection Project.

RESOLUTION #020916-11

A RESOLUTION TO SET HEARING ON THE INTENT TO ACQUIRE AGRICULTURAL PROPERTY AND AUTHORIZE ACQUISITION OF THE NECESSARY PROPERTY INTERESTS THEREOF FOR PROPERTY NEEDED FOR THE SE CONNECTOR AND PLEASANT HILL BOULEVARD AND VANDALIA ROAD INTERSECTION PROJECTS BY GIFT, NEGOTIATION, OR EMINENT DOMAIN

WHEREAS, under the provisions of Chapter 6B of the Iowa Code, a governmental body which proposes to acquire agricultural land under power of eminent domain for a public improvement project is required to give notice of intent to commence the project to all owners and record contract purchasers of such agricultural land whose properties may be acquired in whole or in part for the project (See Sections 6A.21(a) and 6B.2A of the Iowa Code); and

WHEREAS, the City Council has within its Capital Improvements Program, a proposed improvement to be known as the SE Connector and Pleasant Hill Boulevard and Vandalia Road Intersection Projects; and

WHEREAS, on January 26, 2016 the City Council approved a request to transfer STP funds for the Project; and

WHEREAS, in accordance with Section 6B.2A of the Iowa Code, before the City of Pleasant Hill can proceed with the portion of the SE Connector and Pleasant Hill Boulevard/Vandalia Road Projects that affects agricultural land, the City Council must:

- (a) Hold a public hearing, giving persons interested in the proposed project the opportunity to present their views and objections regarding the project, and regarding the proposed acquisition of agricultural property for the project by gift, negotiation or eminent domain.
- (b) Adopt a resolution to approve the project and authorize acquisition of agricultural property for the project by eminent domain.
- (c) Mail notices as required by Iowa Code Section 6B.2A to all property owners and contract purchasers of record of agricultural land with any potential for any form of property acquisition activity for this project and publish notice as specified in the Iowa Code.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PLEASANT HILL, IOWA:

1. That a public hearing shall be held on March 22, 2016, at 6:30 p.m. in the City Council Chamber, City Hall, 5160 Maple Drive, Pleasant Hill, Iowa. At that time the City Council will consider the above-described proposal and any other(s) submitted prior to or during the public hearing.

2. That the City Engineer and City Clerk are hereby instructed to cause notice to be published and mailed as required by law of the pendency of this resolution and of the time and place of the hearing at which persons interested in the proposed project may present their views and objections regarding the project and regarding the acquisition of agricultural property for the

project by gift, negotiation or eminent domain, said Notice of Intent to be in substantially the attached form.

ADOPTED this 9th day of February, 2016.

Sara Kurovski, Mayor

ATTEST:

Dena Spooner, City Clerk/Finance Director

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 9, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	DONALD SANDOR, CITY MANAGER
SUBJECT:	CLOSED SESSION FOR LAND PURCHASE

BACKGROUND:

Staff is requesting a closed session to discuss property for consideration of purchase.

ANALYSIS/IMPACT:

ALTERNATIVES:

FINANCIAL CONSIDERATIONS:

N/A

RECOMMENDATION:

For the City Council to adjourn to a closed session under Iowa Code Section 21.5.1 (j) to discuss the possible purchase of particular real estate.

AGENDA ITEM SHEET

CITY COUNCIL

DATE:	FEBRUARY 9, 2016
TO:	MAYOR AND CITY COUNCIL
FROM:	DONALD SANDOR, CITY MANAGER
SUBJECT:	CLOSED SESSION FOR UNION NEGOTIATIONS

BACKGROUND:

The current union contract with the public works employees, Teamsters Local Union 238, ends June 30, 2016. Under state code the union must present their initial proposal to the city, and the city presents its initial proposal to the union. The initial proposals are presented at sessions open to the public, but subsequent negotiation sessions can be closed. Strategy sessions by the City Council may also be closed to the public.

ANALYSIS/IMPACT:

The union presented their initial proposal to the city on Wednesday, January 13, 2016. At that session the City's initial proposal was presented to the union. The staff would like to update the Council on the status of the negotiations and obtain direction from Council.

ALTERNATIVES:

FINANCIAL CONSIDERATIONS:

None at this time. Final financial considerations will depend upon the final results of the negotiations.

RECOMMENDATION:

Adjourn to a closed session under Iowa Code Section 20.17 (3) to discuss with council union negotiation strategy.